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Structural Engineering

August 21, 2026

#### ADDENDUM #4

FOR  
VON RENNER ELEMENTARY SCHOOL: CLASSROOM BUILDING  
FOR  
NEWMAN-CROWS LANDING UNIFIED SCHOOL DISTRICT  
**Bid Time and Date: August 26, 2026 at 3:00 p.m.**

#### GENERAL

The following addendum to the Plans and Specifications shall amend and take precedence over the original contract drawings and specifications.

Item 001.: Reference Sheet C3.0 – Existing Metal Cargo Containers:

There (4) existing cargo containers along the western property line that are to be demolished, and one in the play court that is to be relocated out of the area of work – see attached exhibit ADD-4.1.

Item 002.: Reference Sheets C3.0 and AS-1.1 – Existing Metal Benches:

*For Clarification* – The concrete pads just south of Building B have three existing metal benches that are to be preserved and turned over to the owner.

Item 003.: Reference Sheets C3.0 and AS-1.1 – Existing Furniture in Demoed Portables:

*For Clarification* – The existing portables to be demolished have existing classroom furniture still in the rooms. The furniture is to be demolished with the classroom.

Item 004.: Reference Sheet C6.0 – Plumbing for relocated portable:

*For Clarification* – The existing sink in the relocated portable is to remain. Reconnect plumbing.

Item 005.: Reference Sheets AS-1.2 and L1.2 – New Irrigation Lines at Existing Asphalt:

Additional asphalt patching is required to accommodate the new irrigation lines – see attached exhibit ADD-4.2.

Item 006.: Reference Sheet AS-1.1 – Basketball & Volleyball Poles:

*For Clarification* – The (4) basketball and (3) volleyball poles with their foundations are to be demoed to facilitate the new asphalt courts.

## CONTRACTOR QUESTIONS *(Answers are in blue)*

- Item 007: Please reference Specification Section 11 5213 – Projection Screens, Section 2.01. The specification seems to only specify for a projector screen but the projector device does not seem to be defined. Detail 10 on plan sheet AD.4 calls for a wall-mounted projector and a screen. Please advise on the required component manufacturers and models.  
*(Projector will be future equipment provided and installed by owner.)*
- Item 008: Irrigation plans call for the addition of modules to the existing controller to accommodate new and existing valves. Please provide number of existing valves to remain.  
*(For Bid Purposes, include two (2) additional modules.)*
- Item 009: After reviewing sheet E1-3.1 and viewing the IDF rack layout showing the core switch, access switch, exterior paging amplifier, and UPS as CFCI (contractor-furnished contractor-installed). Can the district please clarify if they would like the contractor to furnish and install those items?  
*(All listed devices/equipment are new and CFCI.)*
- Item 010: Electrical sheet E.1-3.1 (keynote 28.03) shows (1) CAT 6 being ran to wireless access points. Can the district confirm the cabling to wireless access point locations be CAT 6 and not CAT 6A (typical)?  
*(Provide CAT 6.)*
- Item 011: Page 579 of the Von Renner project manual shows part numbers and makes for wireless access points and wall-mount phones. Can the district confirm if they would like the contractor to furnish and/or install these items?  
*(Contractor shall provide and install all devices listed.)*
- Item 012: Can the District clarify the cabling needed will be plenum-rated (CMP) or riser-rated (CMR) category 6/6A?  
*(Provide plenum rated CAT 6.)*
- Item 013: Electrical sheet E.1-3.1 keynote 28.10 states “cameras by district”. Can the district clarify if the cameras will be OFCI (owner-furnished contractor-installed) or OFOI (owner-furnished owner-installed)?  
*(Cameras and installation of cameras are by Owner.)*
- Item 014: Per electrical sheet E.1-3.1, existing classrooms P-26 & P-5 will be fed from the nearest IDF. Can the district clarify where the nearest IDF is?  
*(P19.)*
- Item 015: Per electrical sheet ES-2.0, there is a plan note that states a 16-strand fiber will be ran for interconnections. Can the district clarify if they mean 12-strand or 24-strand fiber optic cable? See below.  
*(Provide 12 strand.)*
- Item 016: Per electrical sheet ES-2.0, there is a note (image above) that shows a 2” conduit being placed for intercom/clock to headend. What type of cabling will be utilized for this conduit and connection?  
*(PVC Conduit underground, EMT above. Match cables in field.)*

- Item 017: I found a discrepancy on the Decomposed granite called out in the planting package. On the plans it states install loose DG. However, in the earthwork specs it calls out for a tackifier for the DG. The planting specs do not reference DG. Can you please clarify if we are to have a tackifier in the DG for the Landscape/Planting for a total of 1,154 SF at 3" ?  
*(DG in planter shall be stabilized.)*
- Item 018: On plan Page A1-9.1 rooms 108 & 109's floors are marked as "CONCRETE-SEALED/POLISHED". Please clarify, are these rooms to be sealed and polished, or just have one of the two listed finishes? If the latter, please clarify which rooms are to be sealed or polished, as the uniform legend does not make any distinctions.  
*(Rooms 108 and 109 are to be polished concrete; refer to Specification Section 03 3543.)*
- Item 019: On plan Page A1-9.1 rooms 109-112 call for Ceiling finish C4, but there is no finish listed in the legends on this page under C4. Are these legends meant to be C3? Please advise.  
*(The correct room ceiling finish for rooms 109-112 is C3.)*
- Item 020: On plan Page A1-3.2 Keynotes 05.03 & 05.04 are used in diagram 1, but there are no notes on the legends of this page to clarify what is being called out. Please clarify.  
*(For Keynote 05.03 description see sheets A1-4.1 and AS-1.3.  
For Keynote 05.04 "METAL DECK (PAINT WHEN EXPOSED AT INTERIOR LOCATIONS AND ALL EXTERIOR LOCATIONS)" )*
- Item 021: There is an extensive amount of equipment and furnishings in each of the existing modular buildings to be demolished. Are these pieces of equipment/furnishings to be removed by Contractor or Owner?  
*(All equipment/furniture is to be demo by contractor.)*
- Item 022: There are 3 Seatrains/Containers on site. Are these to be removed by Owner or Contractor? If Contractor, are these to be salvaged or disposed of?  
*(They will be the responsibility of the contractor, see attached exhibit ADD-4.1.)*
- Item 023: The scope depicted on plan sheet C5.0 does not seem to correlate with the phasing plans on plan sheets PH-1 and PH-2. Particularly regarding the basketball court areas and play areas. Please advise if there are additional phases or if this work will occur concurrently with phase 1 or 2?  
*(The play court area is required to be used during the school year, all play courts scope shall occur during the Summer, when school is not in session.)*
- Item 024: Specification section 12 2413 Roller Shades is included in the project manual but it is not listed in the table of contents. Please confirm if required and provide quantities, sizes and locations as needed.  
*(Reference Project Manual - Disregard Section 12 2413 in its entirety.)*
- Item 025: Plan sheet FGA calls for all trees, existing and proposed shall be pruned and maintained throughout the life of the tree to provide a minimum vertical clearance of 13'6" throughout the life of the tree. Please confirm the district is responsible for this scope and not the contractor.  
*(The District is responsible for maintaining minimum tree clearance after construction.)*

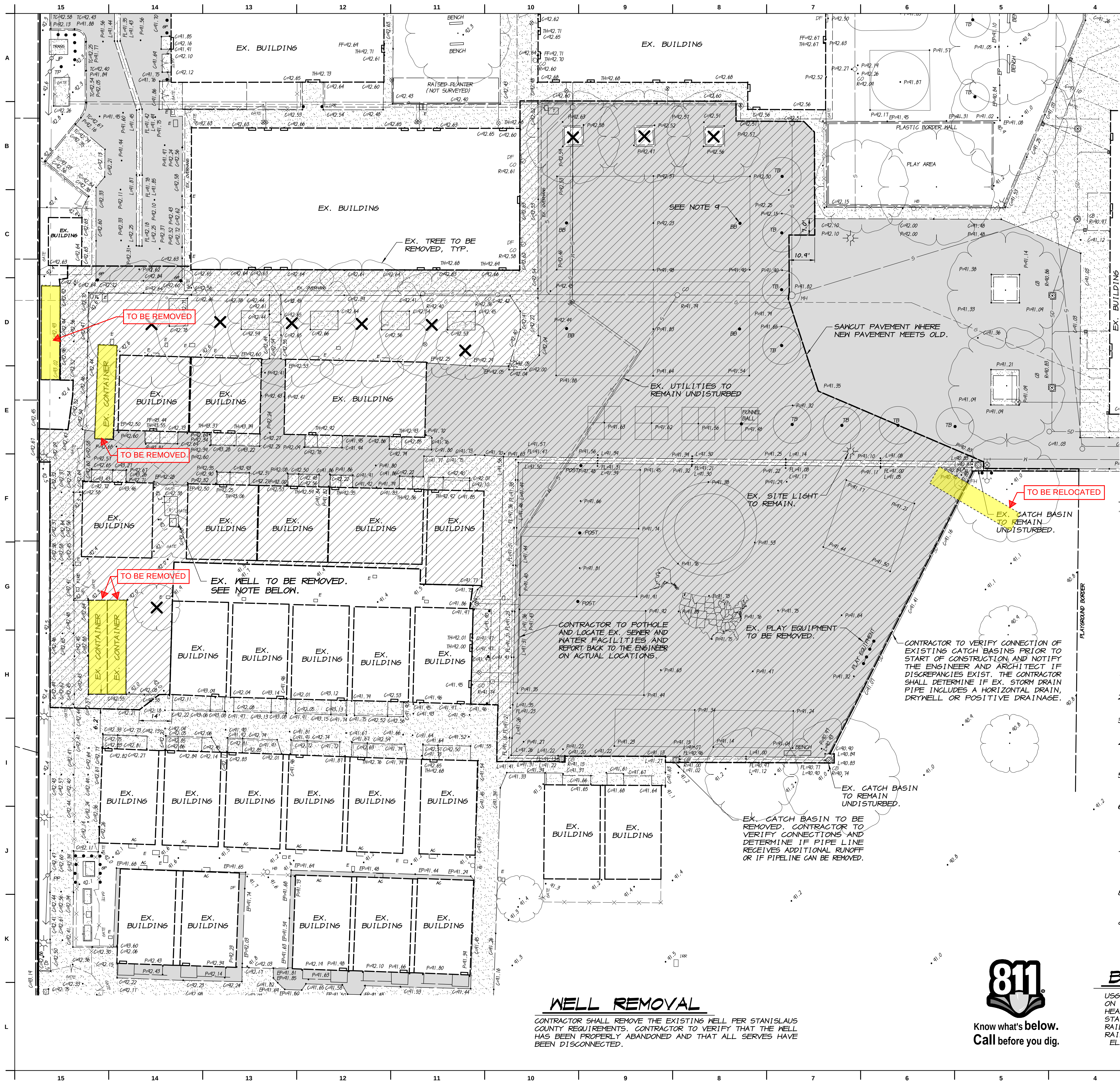
- Item 026: There are conflicting notes on plan sheet FGA where one requires emergency responder radio coverage system while the other note calls for the testing to be performed after the construction of the new building. Please confirm or clarify what and if there is a requirement for such system.  
*(See response Item 006 in addendum 2.)*
- Item 027: At the existing portable buildings to be demolished should the contractor assume the buildings have a rat-slab? If so how thick? Otherwise can as-builts be provided?  
*(Contractor should assume a 4" Asphalt pavement, similar to area adjacent to portables.)*
- Item 028: General notes on plan sheet C3.0 require the contractor to handle and dispose of transite sewer piping but the drawings do not seem to define the total length of the existing pipe. How long is this pipe, what is the size and location that the contractor is required to carry/assume for this scope? Otherwise can an allowance be allocated for this scope?  
*(Per note on Sheet C6.0, there is approximately 36 L.F. of existing 6" sewer line to be removed and replaced. Records indicate that there is a possibility that this is transite sewer.)*
- Item 029: In the code analysis section on plan sheet CA.2 building F is noted to have a total area of 4680 SF while the call-out on the building is noted 9700 SF. On plan sheet FP1 under the design criteria, the 4680 SF area is also noted. Please confirm the building and fire sprinkler design is based on the 9700 SF.  
*(Correct, the sprinkler building design is 9700 SF.)*
- Item 030: General note 9 on plan sheet C3.0 calls for the basketball equipment to be removed, while plan AS1.1 calls under keynote 02.17 calls for basketball equipment to remain. Please confirm which is correct.  
*(Basketball poles and foundation are to be removed.)*
- Item 031: Plan sheet AS-1.4 keynote 32.19 says "hatch denoted repair on decomposed granite track where new paving occurs", however, there are no dimensions or depth indicating the limits of the required repair scope. Please advise.  
*(Hatch area indicates the minimum amount of repair of 750 sf.)*
- Item 032: On plan sheet A1-1.2 keynote 8.04 calls for hollow metal windows while the window schedule references details 9, 10 and 11 on plan sheet AD.6 which call for aluminum windows. Please advise which is correct.  
*(All windows are aluminum.)*
- Item 033: Plan sheet A1-2.1 keynote 7.04 calls for standing seam roofing at the overhang/canopy are located between gridlines 7 and 8, while the referenced details 11, 12 on plan sheet AD.3 call for a cellular metal deck system and do not depict standing seam profiles. Please advise which is correct.  
*(Overhang/canopy is a cellular metal deck.)*
- Item 033: Specification section 075440-2.1 allows for a 60 mil PVC single ply roof system while specification section 075440-2.2 calls for a TPO single ply roof system. Please confirm either is acceptable.  
*(Either TPO or PVC is acceptable.)*

- Item 034: Detail 7 on plan sheet AD.3 shows a building lettering detail, can you please clarify which lettering is required for this project (how many letters and sizes)?  
*(One letter "B", 36" tall.)*
- Item 035: Please confirm that the top of footing elevations for all building footings is 16" below finished floor (similar to detail 6/SD.1).  
*(Yes, 16" is the minimum.)*
- Item 036: Plan sheet E0-1.1 references "Sonitrol coordination for building H" which seems to require conduits and door switches which don't seem to be shown on the electrical site plans or the signal floor plans. Also, there is no building H on this project site. Please confirm if this scope of work applies and if so provide conduit paths, sizes, locations and device information.  
*(See attached exhibit ADD-4.3.)*
- Item 037: Material mentioned on Spec sheet (POLISHED CONCRETE -SECTION 033543) seems to be an epoxy resinous flooring. However, the spec section is title as Polished concrete. Could you please clarify?  
*(Epoxy is part of the polishing process. Reference installation instructions in specs.)*
- Item 038: Sheet FP1's Design Criteria table states that a new fire pump is required ("SCOPE OF WORK: A NEW FIRE PUMP AND REDESIGNED FIRE SPRINKLER SYSTEM... SYSTEMS SHALL COMPLY WITH NFPA 13 & 20"), but this appears to conflict with the hydraulic calculation on Sheet FP2, which shows a positive safety margin without a pump (38.2 PSI required at the source vs. 52.9 PSI available), with the Fire System Riser Detail on Sheet FP4, which shows no pump equipment in the flow path, and with the project number and please confirm whether a new fire pump is required for this project, and if required, please provide the fire pump design criteria, capacity, pressure, power requirements, controller requirements, location, and associated details necessary for bidding.  
*(No fire pump is required.)*
- Item 039: A1-9.1 - Are there any Grid and tile specifications? The finish sheet only mentions 2x4  
*(See spec 09 5113.)*
- Item 040: A1-9.1 - Finish Plan A1-9.1 indicates Tarkett Abrasive Action II 24"x24" carpet tile at classroom entrances, while Detail 12/AD.4 calls for Construction Specialties Peditred G4 with outdoor carpet inserts. Please confirm which walk-off mat system is required and whether the Peditred G4 detail applies to these locations.  
*(See Item 045 in Addendum 2.)*
- Item 041: A1-9.1 - Are there any union-related requirements applicable to this project?  
*(No)*

Item 042: Can you confirm that this project is either subject to DSA or that it is not subject to DSA?  
*(Project is reviewed, inspected, and approved by DSA.)*

Item 043: Is anything happening to portables P10-P26? Our site demo plan ES-12 does not show us disconnecting those portables, but the electrical site plan ES-20 says to reconnect that batch of portables. The way we see it is if we are not disconnecting them... then there is nothing to reconnect.  
*(Power to buildings D, P10, P11, P12 and P13 will be distributed with the Removal of the distribution panel DPA. The contractor shall remove the wire to the portables from the distribution panel and reconnect them as shown on ES-2.0.)*

END OF ADDENDUM



## LEGEND

- EX. GROUND ELEVATION
- EX. TOP OF CURB ELEVATION
- EX. FLOWLINE ELEVATION
- EX. EDGE OF PAVEMENT ELEVATION
- EX. A.C. PAVEMENT ELEVATION
- EX. RIM ELEVATION
- EX. GUTTER LIP ELEVATION
- EX. CONCRETE ELEVATION
- EX. CURB AND GUTTER
- EX. EDGE OF PAVEMENT
- EX. SANITARY SEWER LINE
- EX. MANHOLE
- EX. CLEAN-OUT
- EX. STORM DRAIN LINE
- EX. CATCH BASIN
- EX. CATCH BASIN DROP INLET
- EX. WATER LINE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. GATE VALVE
- EX. DRINKING FOUNTAIN
- EX. BACKFLOW PREVENTION DEVICE
- EX. HOSE BIB
- EX. MAILBOX
- EX. POWER POLE
- EX. TELEPHONE POLE
- EX. JOINT POLE
- EX. POLE WITH GUY ANCHOR
- EX. SIGN
- EX. GUARD POST
- EX. BASKET BALL GOAL
- EX. TETHER BALL POST
- EX. JOINT UTILITY TRENCH
- EX. GAS LINE
- EX. ELECTRICAL CONDUIT
- EX. TELEPHONE CONDUIT
- EX. UTILITY LINE, TYPE UNKNOWN
- EX. TELEPHONE BOX
- EX. ELECTRICAL BOX
- EX. GAS METER
- EX. LANDSCAPE IRRIGATION BOX
- EX. ELECTROLIER
- EX. CHAIN LINK FENCE
- EX. WOOD FENCE
- EX. WROUGHT IRON FENCE
- EX. TREE, SPREAD DRAWN TO SCALE
- EX. AREA OF CONCRETE
- EX. AREA OF ASPHALT PAVEMENT
- APPROX. AREA OF DEMOLITION
- EX. TREE TO BE REMOVED

## GENERAL NOTES

- LANDSCAPE AND LANDSCAPE IRRIGATION FACILITIES SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT'S PLANS.
- CONCRETE TO BE REMOVED SHALL BE SAW CUT IN STRAIGHT LINES, OR REMOVED TO THE NEAREST COLD JOINT, AS REQUIRED.
- ASPHALT PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AS SHOWN ON THE PLAN.
- UTILITY BOXES AND COVERS, FRAMES, GRATES AND FIRE HYDRANTS SHALL BE SALVAGED FOR REUSE ON THIS PROJECT AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE PROTECTION TO FACILITIES THAT ARE WITHIN THE AREA OF DEMOLITION, BUT ARE TO REMAIN. REFER TO THE PLAN FOR LOCATIONS.
- EXISTING UTILITIES WITHIN THE AREA OF DEMOLITION SHALL BE PRESERVED IN PLACE, MODIFIED AS PER THE PLANS OR REMOVED AS REQUIRED. THE CONTRACTOR SHALL DETERMINE THE EXACT EXTENT OF MODIFICATIONS AND REMOVALS OF UTILITIES PRIOR TO PERFORMING THE WORK.
- THE LIMITS OF DEMOLITION SHOWN ON THE PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT DEMOLITION LIMITS LOCATIONS BASED ON ACTUAL FIELD CONDITIONS, AS REQUIRED.
- RECORDS INDICATE THAT THE EX. SEWER LINES MAY BE TRANSITE. CONTRACTOR TO INCLUDE PROPER HANDLING AND DISPOSAL OF PIPE IN THEIR BID.
- ALL PLAY EQUIPMENT INCLUDING BASKETBALL HOOPS, TETHER BALL POSTS AND ANY OTHER POLES LOCATED WITHIN THE AREA OF DEMOLITION, SHALL BE REMOVED AND SALVAGED, UNLESS THE DISTRICT ELECTS TO DISPOSE OF ITEMS.

## BENCHMARK

US66 PID "H52414", BEING A DISK LOCATED ON THE NORTH END OF THE WEST CONCRETE HEADWALL OF A CULVERT, JUST EAST OF THE STATE HIGHWAY 33 AND APPROXIMATELY SEVEN RAIL LENGTHS SOUTHEAST OF THE SANCHES ROAD RAILROAD CROSSING.  
ELEV. = 91.50



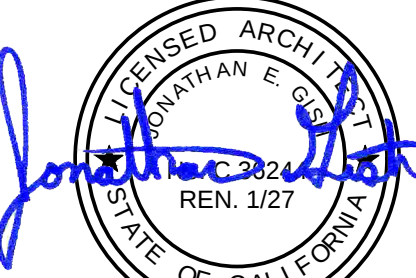
Know what's below.  
Call before you dig.



IDENTIFICATION STAMP  
DIV. OF THE STATE ARCHITECT  
APP: 02-123751 INC:  
REVIEWED FOR  
SS ☒ FLS ☒ ACS ☒  
DATE: 07/15/26



TIMOTHY P. HUFF &  
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ASSOCIATED  
ENGINEERING  
GROUP



Consultants

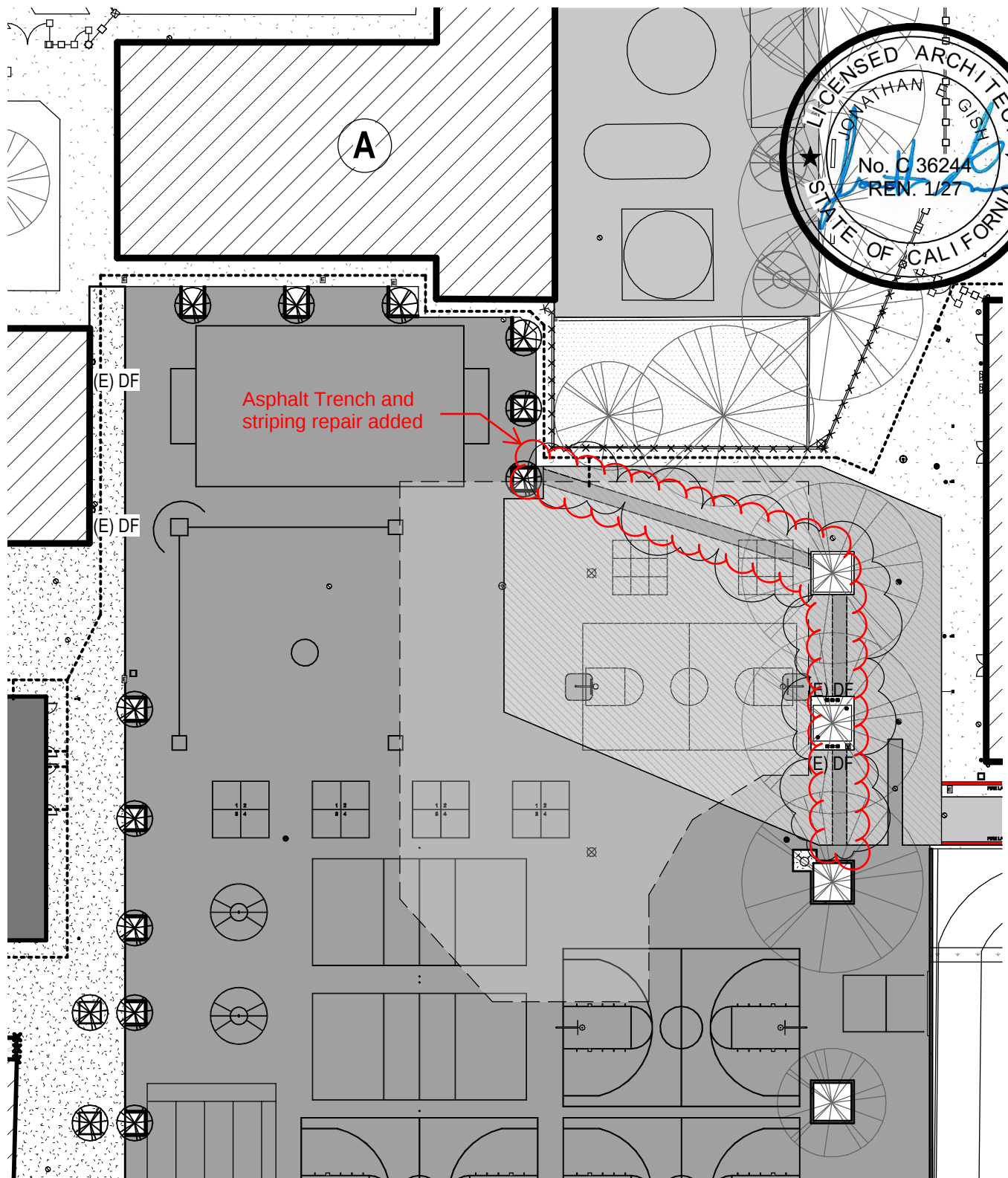
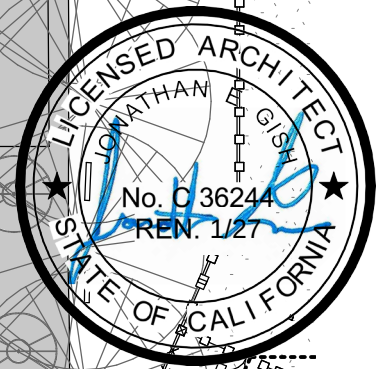
VON RENNER ELEMENTARY SCHOOL:  
CLASSROOM BUILDING

1388 PATCHETT DRIVE  
NEWMAN, CA 95360  
NEWMAN/CROWS LANDING UNIFIED SCHOOL DISTRICT

DEMOLITION PLAN

|                |           |
|----------------|-----------|
| Project Number | 2514      |
| Date           | JUNE 2026 |
| Drawn by       | J.T.S.    |
| Checked by     | R.D.C.    |

~~CS-0~~  
ADD 4.1



NORTH

# 1 PARTIAL OF AS-1.2

VON RENNER ELEMENTARY SCHOOL:

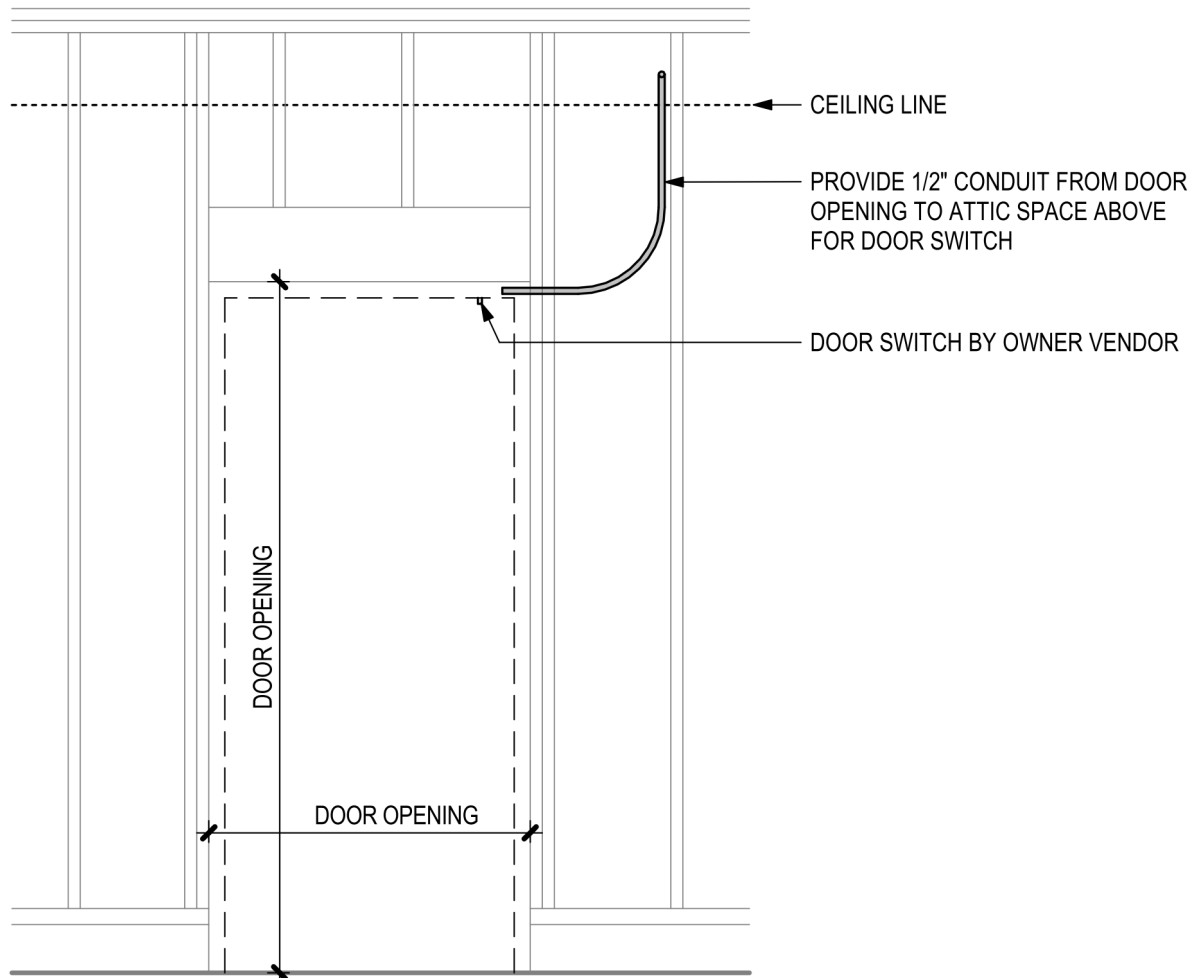
CLASSROOM BUILDING



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|               |              |
|---------------|--------------|
| DATE          | AUGUST, 2026 |
| SCALE         | 1" = 40'-0"  |
| DRAWN         | DV           |
| DSA FILE No.  | 50-32        |
| DSA Appl. No. | 02-123751    |

|              |          |
|--------------|----------|
| ADDENDUM NO. | 4        |
| DRAWING N°   | ADD_A4.2 |



**TYPICAL EXTERIOR DOOR**

**1**

# SECURITY SYSTEMS: STANDARD DETAILS & NOTES

VON RENNER ELEMENTARY SCHOOL:

CLASSROOM BUILDING



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|               |              |
|---------------|--------------|
| DATE          | AUGUST, 2026 |
| SCALE         | NS           |
| DRAWN         | DV           |
| DSA FILE No.  | 50-32        |
| DSA Appl. No. | 02-123751    |

ADDENDUM NO.

**4**

DRAWING NO.

**ADD\_A4.3**

## DESIGN CRITERIA

AUTHORITY HAVING JURISDICTION: DSA

STANDARD: NFPA 13 (2022 EDITION WITH CFC AMENDMENTS)  
NFPA 24 (2022 EDITION WITH CFC AMENDMENTS)  
CALIFORNIA BUILDING CODE (CBC) 2022

OCCUPANCY GROUP: E

CONSTRUCTION TYPE: V-B

BUILDING SQ. FT.: 9,700 SQ. FT.

SPRINKLER SYSTEM TYPE: WET

FACILITY USAGE: ELEMENTARY SCHOOL

SCOPE OF WORK: INSTALL A NEW OVERHEAD AND UNDERGROUND FIRE  
SPRINKLER SYSTEM AS GENERALLY DELINEATED ON THE  
DRAWINGS. SYSTEMS SHALL COMPLY WITH NFPA 13 & 24.

SPRINKLER OCCUPANCY CLASSIFICATION: LIGHT HAZARD

REMOTE AREAS: LIGHT HAZARD = 0.1 GPM/1500 SQ. FT.

HOSE ALLOWANCE: LIGHT HAZARD = 100 GPM

WATER FLOW INFORMATION: 56 PSI STATIC, 46 PSI RESIDUAL @ 949 GPM FLOW  
(FIRE SLOW IS LESS THAN THE REQ. 1,500 GPM AT 20 PSI)

1

## FIRE PROTECTION PROJECT INFORMATION

VON RENNER ELEMENTARY SCHOOL:

CLASSROOM BUILDING



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|               |              |
|---------------|--------------|
| DATE          | AUGUST, 2026 |
| SCALE         | N/A          |
| DRAWN         | DV           |
| DSA FILE No.  | 50-32        |
| DSA Appl. No. | 02-123751    |

ADDENDUM NO.

4

DRAWING NO.

ADD\_ 4.4