

DOCUMENT 00 9111

ADDENDUM NO. SEVEN

October 8, 2024

COUNTY OF KERN
GENERAL SERVICES

Lamont Park Beautification Project

8304 Segrue Rd. Lamont, CA 93241

1650.7012.22

- Item No. 1:** Bid Opening has been changed from Tuesday, October 15, 2024, to Tuesday, November 5, 2024, at 11:00 am.
- Item No. 2:** RFI Deadline has been changed from Thursday, October 3, 2024, to Friday, October 23, 2024, at 11:00 am.
- Item No. 3:** Refer to Reflected Ceiling Plan sheet A300, ceiling joist shall be attached to beneath the trusses, not 2'-0" below.
- Item No. 4:** Refer to sheet LC.02 for call out C-04. Detail can be found on sheet LCD.09.
- Item No. 5:** Refer to sheet LC.02 for call out C-05. There are two locations adjacent to the Splash Pad. Refer to revised sheet LCD.09 for detail. See item no. 13 below.
- Item No. 6:** Refer to sheet LCD.09 for details on call out C-04 & C-05.
- Item No. 7:** Shotcrete is acceptable for use on Skate Park.
- Item No. 8:** Refer to attached sheet LCD.05 and replace existing sheet LCD.05 in its entirety. A thickened beam and dowels will be added at the top of the skatepark wall. Refer to details on attached LCD.05.
- Item No. 9:** Refer to attached sheet LI.02 and replace existing sheet LI.02 in its entirety.
- Item No. 10:** Refer to attached sheets LCD.04 and LCD.07 and replace existing sheet LCD.04 and LCD.07 in their entirety. Refer to revision clouds for modifications.
- Item No. 11:** Refer to attached sheet W1 and W2 and add to the Construction Documents all scope of work identified.
- Item No. 12:** Add to the contract sum Allowance no. 1 in the amount of \$5,000 (five-thousand dollars) for Hazardous Material removal from the project site. Refer to Specification Section 01 2000, Item d. Allowance Items for more information.
- Item No. 13:** Refer to attached sheet LCD.09 and replace existing sheet LCD.09 in its entirety.

The following Addenda were issued, modifying the Project Manual:

Addendum No. 7, issued on October 8, 2024.
Addendum No. 6, issued on September 26, 2024.
Addendum No. 5, issued on September 25, 2024.
Addendum No. 4, issued on September 24, 2024.
Addendum No. 3, issued on September 17, 2024.
Addendum No. 2, issued on September 5, 2024.
Addendum No. 1, issued on August 15, 2024.

Alisha Shipe, Contract Specialist
Construction Services Division

Contractor

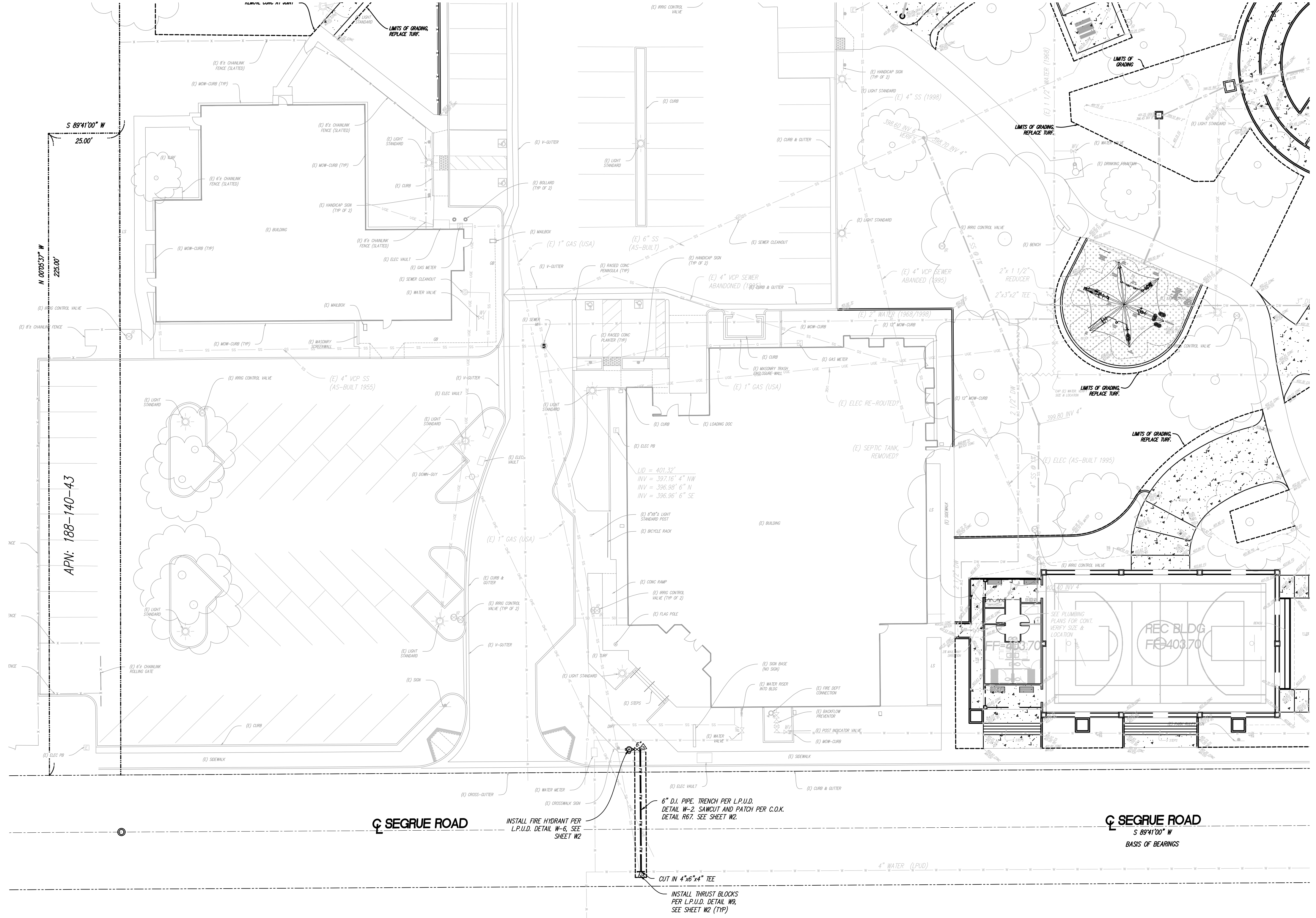
Signature

Date

Name/Title

END OF DOCUMENT

These drawings, related specifications, ideas, designs and arrangements represented hereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed or otherwise used in connection with any work or project other than the specific project which they have been prepared and developed without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute conclusive acceptance of these restrictions.



- LEGEND:**
- | | |
|--|---------------------------------------------------------|
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER METER |
| | EXISTING WATER VALVE |
| | EXISTING HOSE BIB |
| | EXISTING POWER POLE |
| | EXISTING STREET LIGHT |
| | FOUND MONUMENT |
| | EXISTING TRAFFIC SIGN |
| | EXISTING SEWER MANHOLE |
| | EXISTING STORM DRAIN MANHOLE |
| | EXISTING SEWER CLEANOUT |
| | EXISTING IRRIGATION VALVE |
| | EXISTING TELEPHONE PULL BOX |
| | EXISTING GAS METER |
| | EXISTING ELECTRICAL PULL BOX |
| | EXISTING LIGHT POLE |
| | EXISTING STORM DRAIN LINE |
| | EXISTING FIBER OPTIC LINE |
| | EXISTING WATER LINE |
| | EXISTING SEWER LINE |
| | EXISTING GAS LINE |
| | EXISTING FENCELINE |
| | EXISTING ELECTRIC LINE |
| | EXISTING OVERHEAD ELECTRIC LINE |
| | EXISTING PROPERTY LINE |
| | EXISTING RIGHT-OF-WAY |
| | EXISTING CURB & GUTTER |
| | NEW STORM DRAIN LINE |
| | NEW SANITARY SEWER LINE |
| | NEW DOMESTIC WATER LINE |
| | NEW GATE VALVE IN CHRISTY VALVE BOX. SEE PLAN FOR SIZE. |
| | NEW CLEAN OUT TO GRADE. SEE DETAIL 23, SHEET C12 |

MISC. UTILITY NOTE

CONTRACTOR TO CALL FOR USA LOCATE AND POTHOLE ALL MARKED UTILITIES AND/OR UTILITIES SHOWN ON THIS PLAN IN CUT AREAS. VERTICAL AND HORIZONTAL LOCATION SHALL BE ASCERTAINED BY THE CONTRACTOR AHEAD OF ANY EXCAVATIONS TO VERIFY THAT THE PROPOSED DESIGN DOES NOT CONFLICT WITH ANY UTILITIES. IN THE EVENT A CONFLICT EXISTS THE ENGINEER SHALL BE NOTIFIED IN ORDER TO REDESIGN THE AFFECTED AREA. IF RELOCATION OF EXISTING UTILITIES IS DEEMED NECESSARY, THE CONTRACTOR SHALL BE COMPENSATED FOR INSTRUCTED RELOCATION. IN THE EVENT A UTILITY IS DAMAGED, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ITS REPAIR.

UTILITY BOXES/LIDS

ADJUST TO GRADE ALL UTILITY BOXES, VAULTS, AND LIDS SHOWN ON THIS PLAN. SHOULD A UTILITY BOX OR VAULT BE FOUND DURING GRADING, CONTRACTOR SHALL ADJUST TO GRADE, AND SHALL BE REMBURSED FOR SAID ADJUSTMENT.

UTILITY TRENCH

ALL UTILITY TRENCHING TO COMPLY WITH DETAIL 24, SHEET C12



LAMONT PARK BEAUTIFICATION PROJECT SITE PLANNING

8304 SEGRUE ROAD
LAMONT, CALIFORNIA

DATE	ISSUED FOR

REVISION	DESCRIPTION

JOB	W1
DP	
PM	
SHEET 15 OF 25	

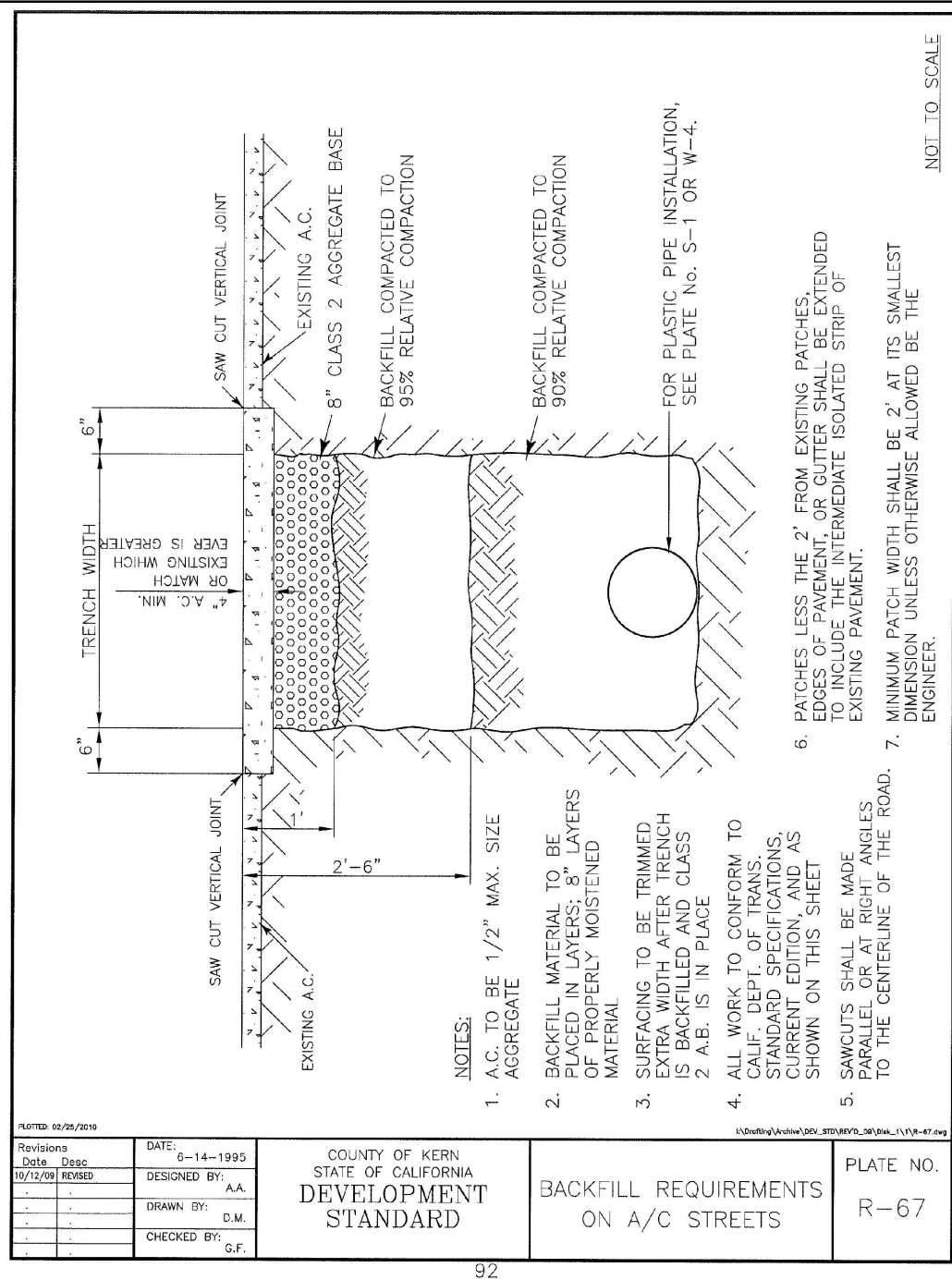
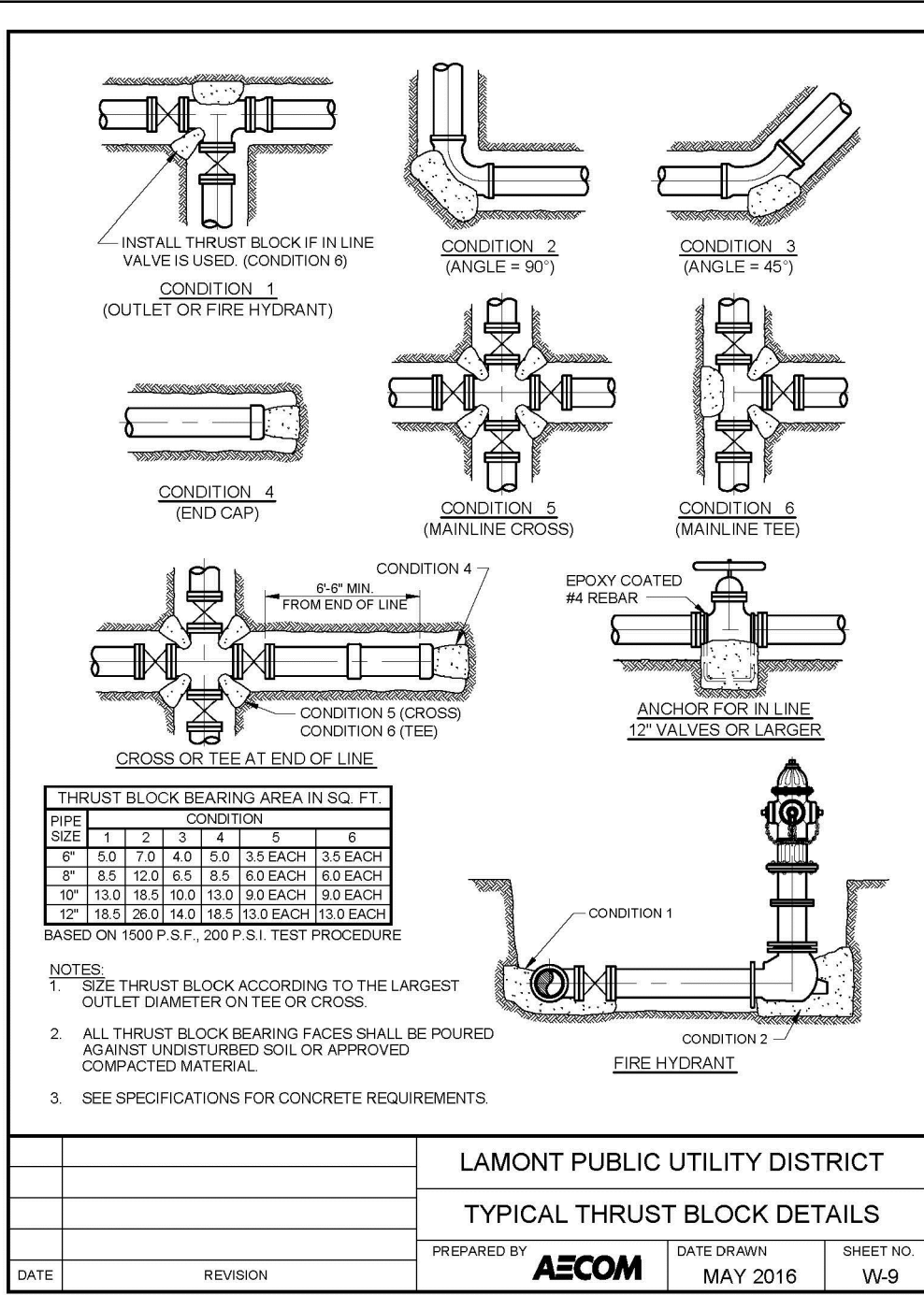
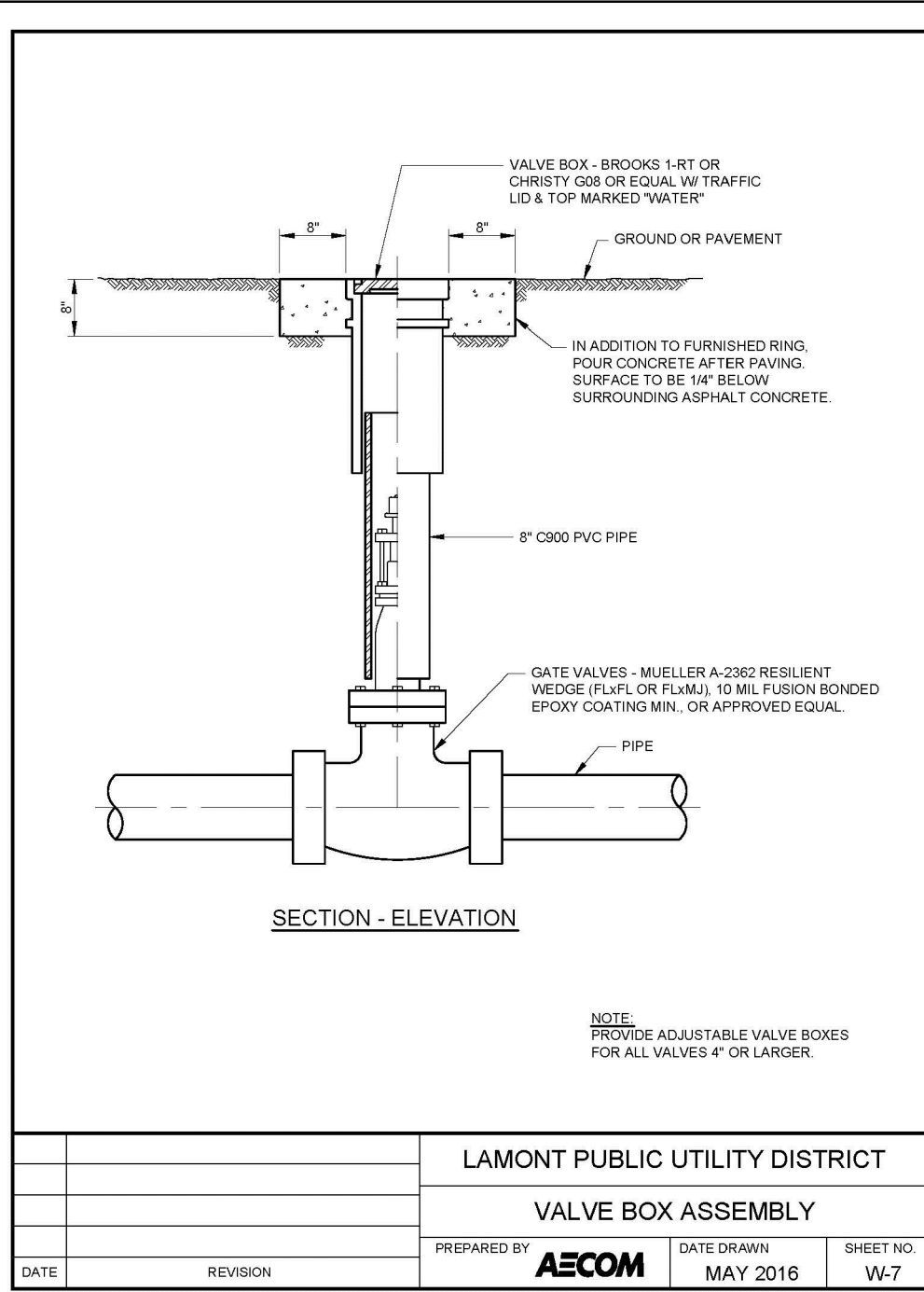
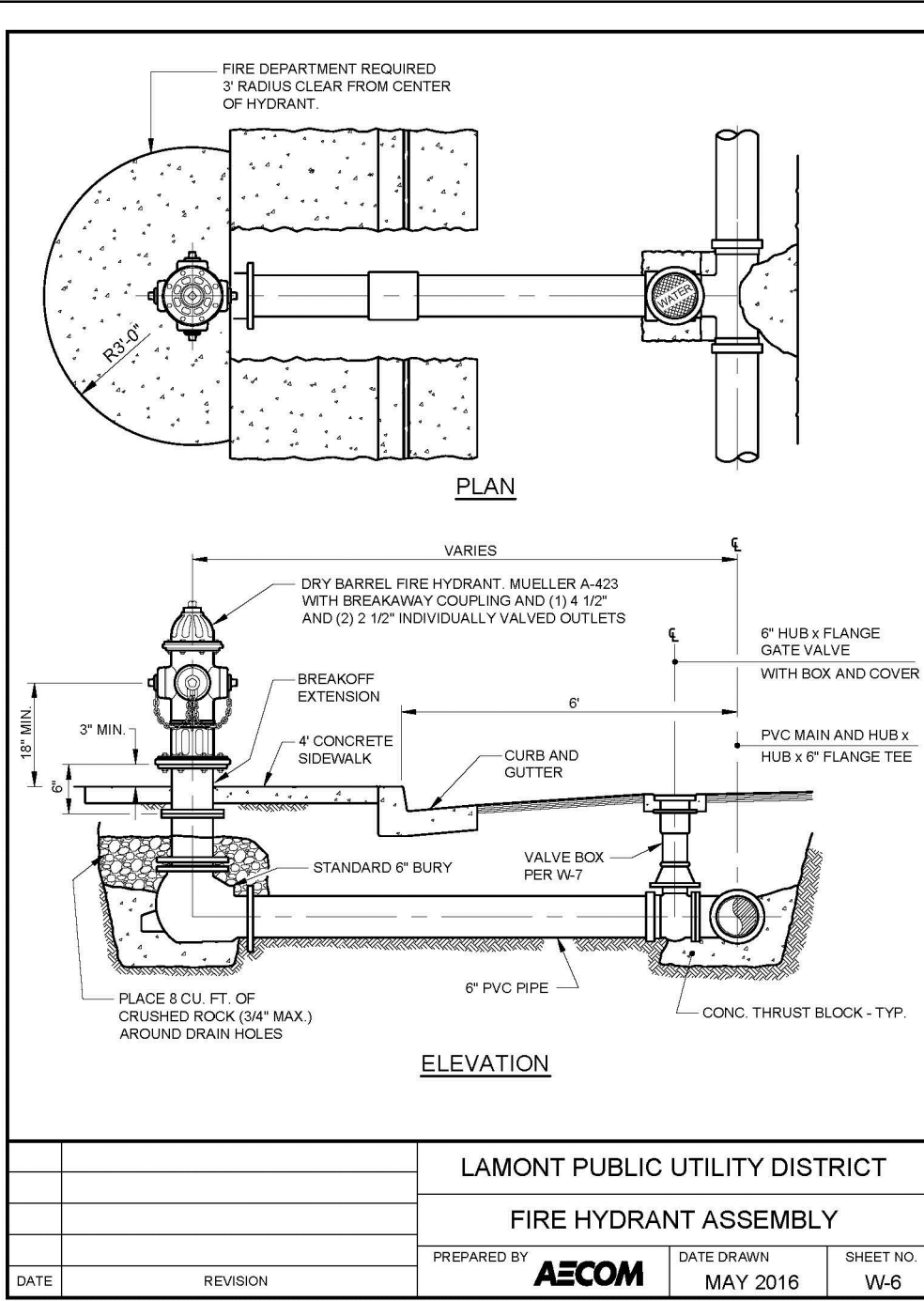
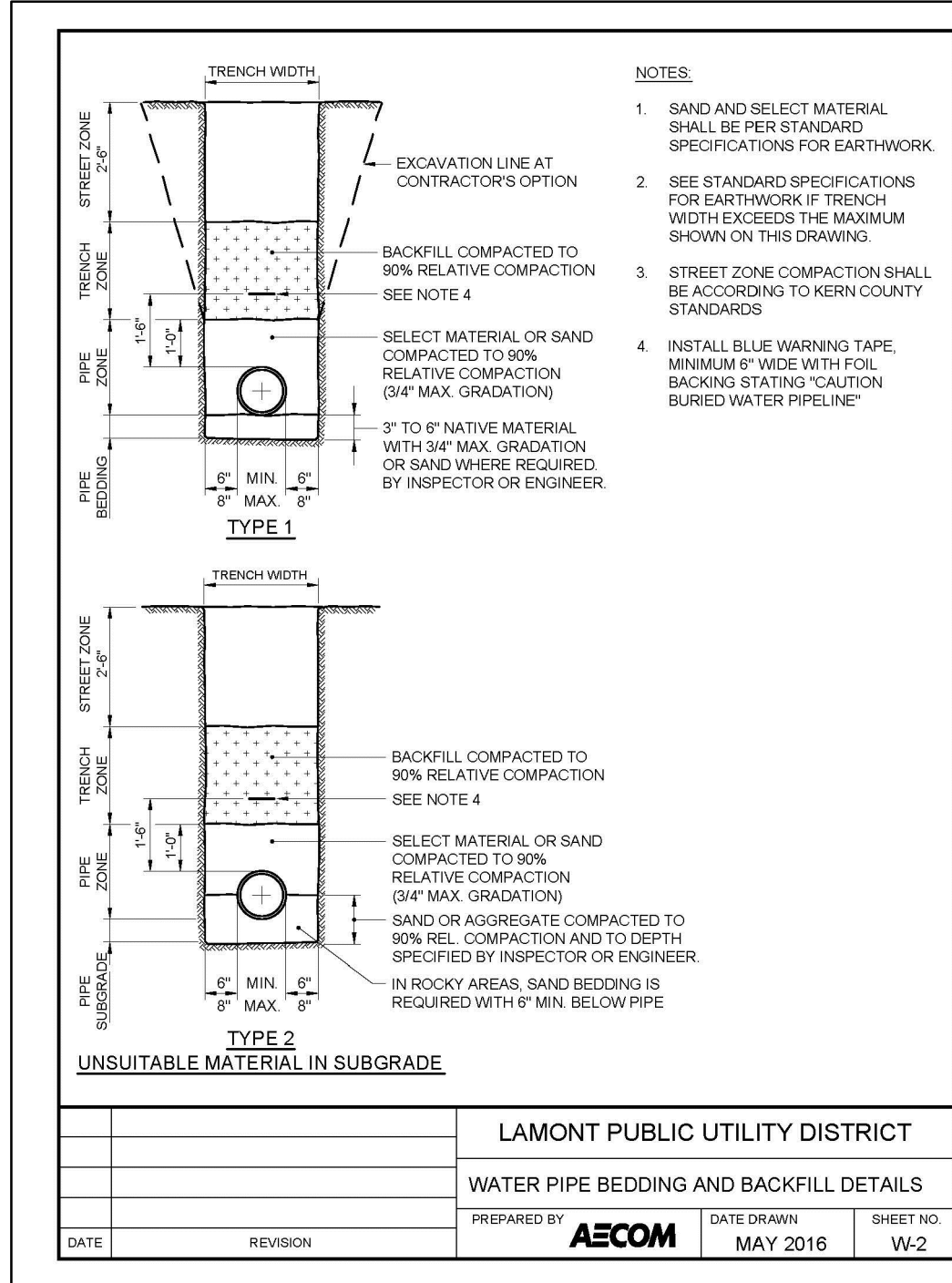
SCALE: 1" = 20'

20 10 0 20 40

WATER PLAN

N

SWANSON ENGINEERING, INC.
2000 Oak Street, Suite 150 - Bakersfield, CA 93301
P:(861) 831-4919; F:(861) 873-4777
JOB#- 22-091



- LAMONT PUBLIC UTILITY DISTRICT NOTES:**
- THE WATER FACILITIES TO BE DEDICATED TO L.P.U.D. SHALL BE CONSTRUCTED IN ACCORDANCE WITH L.P.U.D. STANDARD SPECIFICATIONS.
 - L.P.U.D. SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION. TELEPHONE (661) 845-1213.
 - THE CONSTRUCTION PLANS MUST BE APPROVED BY L.P.U.D. PRIOR TO THE START OF CONSTRUCTION. TWO (2) SETS OF APPROVED PLANS SHALL BE FURNISHED TO L.P.U.D. AND ONE (1) SET OF THE SAME TO THE DISTRICT'S ENGINEER. PRIOR TO DISTRICT APPROVAL, THE PLANS MUST BE SIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER.
 - PRIOR TO ACCEPTANCE OF THE WATER FACILITIES, ALL NECESSARY EASEMENT DOCUMENTS SHALL BE PROPERLY EXECUTED AND RECORDED. THREE (3) COPIES EACH OF THE RECORDED DOCUMENTS SHALL BE FURNISHED TO L.P.U.D.
 - COMPACTION TESTING SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH THE DISTRICT STANDARDS FOR EARTHWORK. WRITTEN TEST RESULTS (3 COPIES) SHALL BE SUBMITTED TO THE DISTRICT'S REPRESENTATIVE.
 - WATER MAINS SHALL BE INSTALLED 5'-FEET FROM THE CURB FACE UNLESS OTHERWISE INDICATED ON THE PLANS. ALL WATER SERVICES SHALL BE METERED.
 - WORK IN THE STATE OF CALIFORNIA OR THE COUNTY OF KERN RIGHTS-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE ENCROACHMENT PERMITS.
 - THE WATER SYSTEM, INCLUDING LATERALS, SHALL BE HYDROSTATIC TESTED AFTER ALL UNDERGROUND UTILITIES ARE CONSTRUCTED AND PRIOR TO PLACING STREET PAVEMENT. METER BOXES SHALL BE INSTALLED BY THE CONTRACTOR. ALL METERS SHALL BE PURCHASED AND DELIVERED TO L.P.U.D. BY THE CONTRACTOR FOR INSTALLATION BY L.P.U.D.
 - ALL VALVES SHALL BE FLANGE CONNECTED TO FITTINGS.
 - ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 36 INCHES.
 - UPON COMPLETION OF CONSTRUCTION, PROVIDE THE DISTRICT ONE FULL-SIZE SET OF PLANS ON REPRODUCIBLE 3-MIL. DOUBLE MATTE FILM, ONE SET OF ELECTRONIC PDF'S, AND THE ELECTRONIC (CAD) FILES.
 - PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 811.

These drawings, related specifications, ideas, designs and arrangements represented hereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others used in connection with any work or project other than the specific project which they have been prepared and developed without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute conclusive acceptance of these restrictions.



LAMONT PARK BEAUTIFICATION PROJECT

SITE PLANNING

8304 SEGRUE ROAD
LAMONT, CALIFORNIA

DATE	ISSUED FOR

REVISION	DESCRIPTION

WATER DETAILS

SWANSON ENGINEERING, INC.

2000 Oak Street, Suite 150 - Bakersfield, CA 93301
p:(861) 831-4919; f:(661) 873-4777

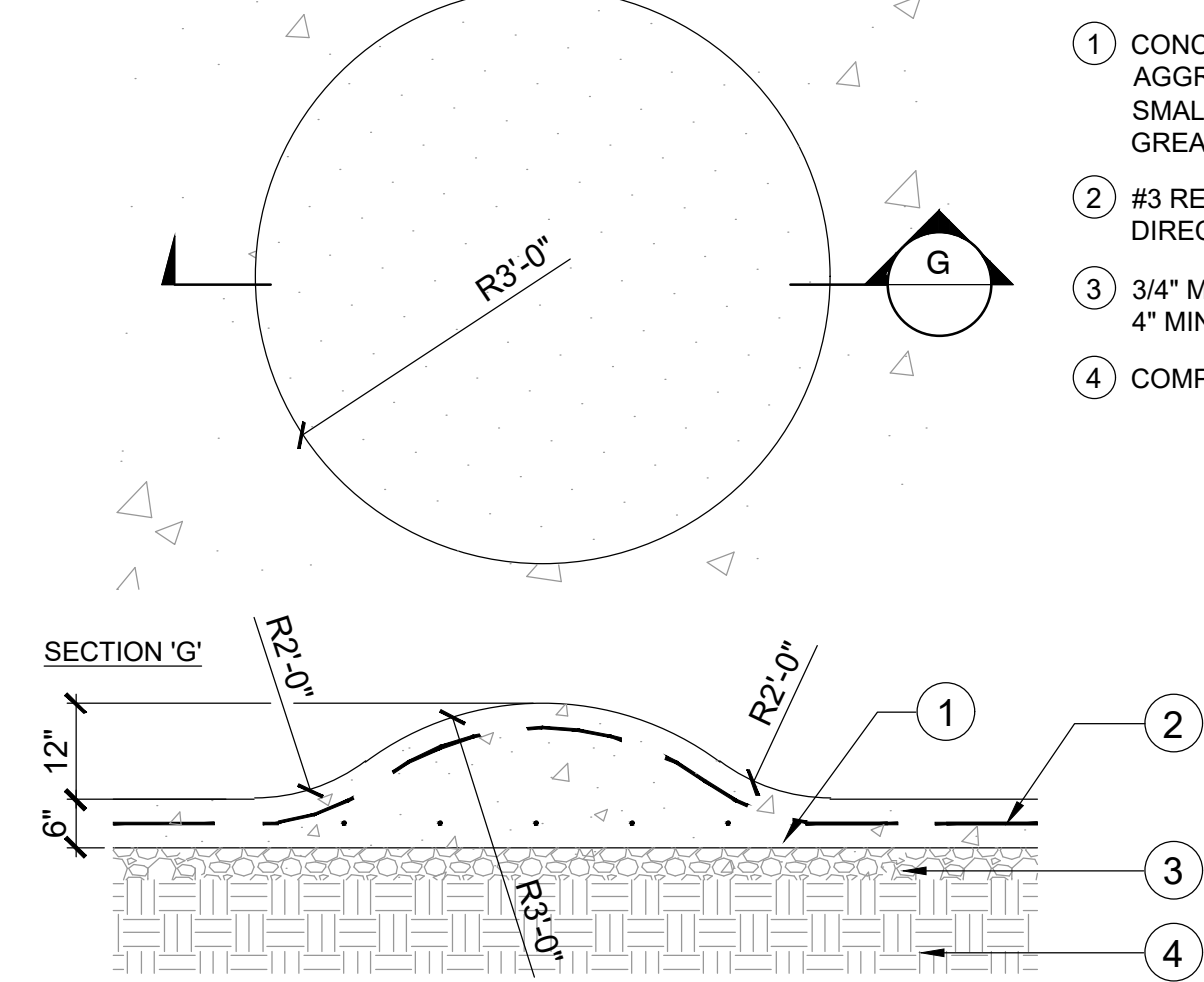
JOB# 22-091

JOB	DP	PM

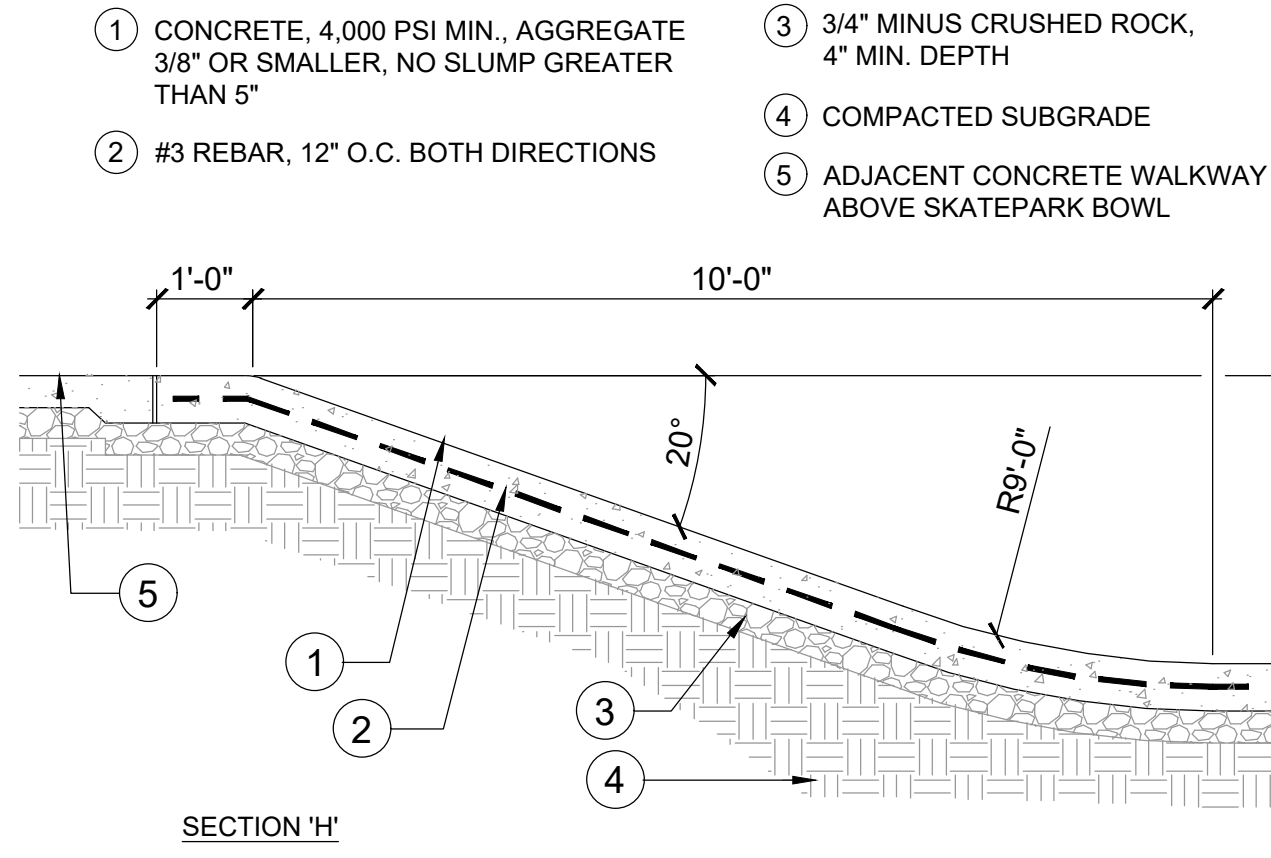
W2

SHEET 2 OF 2

PLAN VIEW



- 1 CONCRETE, 4,000 PSI MIN., AGGREGATE 3/8" OR SMALLER, NO SLUMP GREATER THAN 5"
- 2 #3 REBAR, 12" O.C. BOTH DIRECTIONS
- 3 3/4" MINUS CRUSHED ROCK, 4" MIN. DEPTH
- 4 COMPACTED SUBGRADE



- 1 CONCRETE, 4,000 PSI MIN., AGGREGATE 3/8" OR SMALLER, NO SLUMP GREATER THAN 5"
- 2 #3 REBAR, 12" O.C. BOTH DIRECTIONS
- 3 3/4" MINUS CRUSHED ROCK, 4" MIN. DEPTH
- 4 COMPACTED SUBGRADE
- 5 ADJACENT CONCRETE WALKWAY ABOVE SKATEPARK BOWL

D PUMP BUMP DETAIL

N.T.S.

P-LA2-CNST-106

C ROLL IN DOWN RAMP

N.T.S.

P-LA2-CNST-113

SKATEPARK BID REQUIREMENTS

- SKATEPARK SUBCONTRACTOR MUST HAVE EITHER BEEN PRIMARY OR SUBCONTRACTOR ON A MINIMUM OF THREE (3) SKATEPARKS IN THE LAST FIVE (5) YEARS.
- FIVE (5) REFERENCES, INCLUDING NAME AND CONTACT INFORMATION, BASED ON CONTRACTS HELD BY BIDDING CORPORATION OR ENTITY USING POURED IN PLACE CONSTRUCTION METHODS SIMILAR TO THOSE REQUIRED UNDER THIS BID.
- PROOF OF PROPER LIABILITY AND WORKERS COMPENSATION INSURANCE INCLUDING LIMITS.
- DECLARATION OF ANY SUITS OR CLAIMS AGAINST BIDDER, (OR SUBSIDIARY OR CO-OWNED ENTITY), FOR WARRANTY, NEGLIGENCE OR FAILURE TO COMPLETE ANY PROJECT WITHIN THE PAST 10 YEARS.
- ALL BIDS SHALL INCLUDE DETAILED TIMELINE, INCLUDING START AND COMPLETION DATES. BIDS THAT DO NOT INCLUDE THIS ITEM WILL BE DEEMED UNRESPONSIVE AND DISQUALIFIED.
- ALL BIDS SHALL INCLUDE FULL DETAIL AND SPECIFICATION SHEET FOR CONCRETE MIX AND SUPPLIER TO BE USED IN CONSTRUCTION. BIDS THAT DO NOT INCLUDE THIS ITEM WILL BE DEEMED UNRESPONSIVE AND DISQUALIFIED.
- ALL BIDS SHALL INCLUDE A WRITTEN PLAN FOR TYPICAL HYDRATION AND SAWCUT METHODS AND SCHEDULE. (EXPECTED SPECIAL CONDITIONS SUCH AS SUMMER OR WINTER WEATHER SHOULD BE TAKEN INTO CONSIDERATION).
- CONCRETE FINISH REQUIREMENTS: CONCRETE FINISH AND SMOOTHNESS IS OF THE UTMOST IMPORTANCE. BEFORE CONSTRUCTION BEGINS, THE WINNING BIDDER SHALL FURNISH ON-SITE SAMPLES OF THE FOLLOWING AT BIDDER'S EXPENSE. SAMPLES MUST BE OF THE MIX TYPE DECLARED IN BID/PROPOSAL AND WILL BE RETAINED BY THE COUNTY FOR COMPARISON TO FINISHED PRODUCT.
 - 24"x24"x6" FLAT WITH TYPICAL SAWCUT AND REBAR PLACEMENT. SAMPLE SHALL INCLUDE ANY EXAMPLES OF RADIUS EDGING AND SEALANT PROPOSED IN SKATEPARK.
- 36"x12" EXAMPLE OF STEEL EDGING DETAIL INCLUDING ANY RADIUS EDGING ADJACENT TO STEEL EDGING.
- 36"x12" EXAMPLE OF STEEL COPING DETAIL INCLUDING ANY RADIUS EDGING ADJACENT TO STEEL EDGING.

SKATEPARK TOLERANCES

GENERAL - SKATEPARK FEATURES TO COMPLY WITH ASTM F2480 STANDARD GUIDE FOR IN-GROUND SKATEPARKS.

FLAT - EXPANSION JOINT LOCATIONS TO BE LOCATED AS TO NOT INTERFERE WITH APPROACHES TO OBSTACLES.

METAL - ALL COPING AND STEEL EDGING MUST BE CLEANED, PRIMED AND PAINTED CORRECTLY. COPING TO BE ANCHORED BY WELDED STEEL ANCHORS, NOT REBAR.

TRANSITION FACE - ACI CERTIFIED NOZZLE OPERATOR REQUIRED FOR SHOTCRETE APPLICATIONS ON BANKS AND TRANSITIONS STEEPER THAN 20 DEGREES.

REBAR - NO REINFORCING STEEL REBAR SMALLER THAN 0.125". WIRE MESH CAN BE USED IN ADDITION TO, BUT NOT AS A REPLACEMENT TO REBAR.

CONCRETE MIX - NO AGGREGATE SMALLER THAN 3/8", NO SLUMP GREATER THAN 5".

DRAINAGE - ALL FLATWORK TO HAVE A UNIFORM AND CONSISTENT MINIMUM OF 2% SLOPE FOR SHEET DRAINAGE. PUDDLES AND STANDING WATER IN THE SKATE PARK IS UNACCEPTABLE.

FINISH WORK - UNIFORM FINISH: FLOAT FINISH ON UNFORMED FACE OF WALL / FLAT SHALL CONSIST OF SMOOTH, HARD, UNIFORM SURFACE OF SMOOTH STEEL TROWEL. LEVEL TO A TOLERANCE OF 0.25 - 0.5 INCH IN 10 FEET WHEN TESTED WITH A 10-FOOT STEEL STRAIGHTEDGE PLACED ON THE SURFACE HORIZONTALLY, AND VERTICALLY WITH RADIAL TEMPLATE WITH APPROPRIATE RADII.

SKATEPARK STANDARDS AND REQUIREMENTS

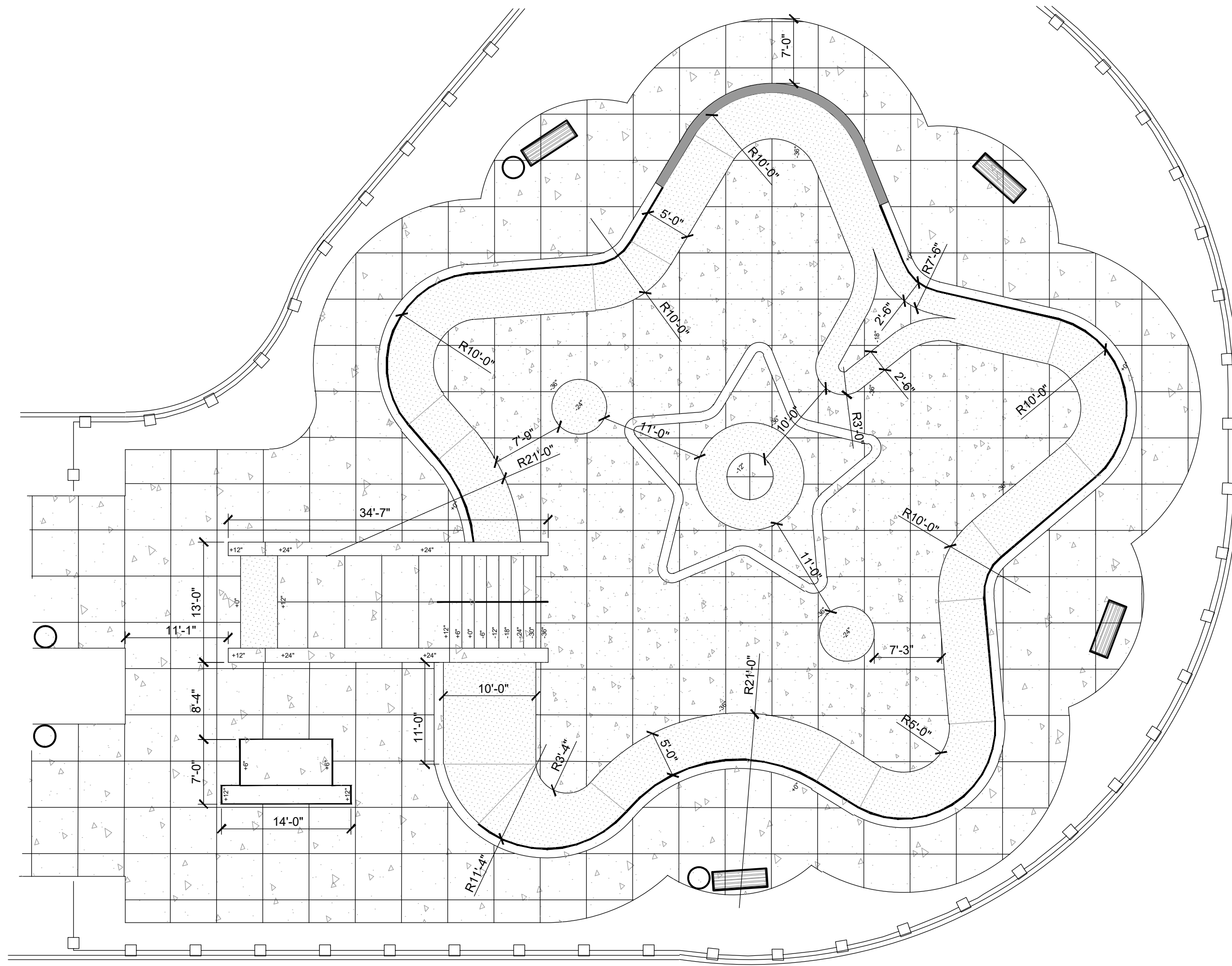
- COPING AND STEEL EDGING MUST BE CLEANED, PRIMED, AND PAINTED CORRECTLY.
- AT NO POINT SHALL STANDARD FLAT CONCRETE BE LESS THAN 5" THICK.
- AT NO POINT SHALL RAMP OR BANK CONCRETE BE LESS THAN 6" THICK.
- AT NO POINT SHALL REINFORCING STEEL BE SMALLER THAN 3/8" REBAR. WELDED WIRE MESH MAY BE USED WITH BUT NOT IN PLACE OF REBAR.
- AT NO POINT SHALL REINFORCING STEEL BE SPACED MORE THAN 12" ON CENTER EXCEPT IN FLAT POURS WHERE 18" IS ACCEPTABLE.
- NO CONCRETE SHALL HAVE A COMPREHENSIVE STRENGTH LESS THAN 4,000 PSI UNLESS OTHERWISE NOTED ON THE PLANS.
- WATER ADDED ON SITE SHALL NOT EXCEED 1 GALLON PER YARD REMAINING ON THE TRUCK UNLESS ALLOWED BY THE COUNTY.
- ALL CONCRETE SHOULD BE POURED IN PLACE AND OBTAINED FROM A PLANT NOT FURTHER THAN 30 MILES FROM THE CONSTRUCTION SITE.
- CONCRETE MUST BE PLACED COMPLETELY WITHIN 120 MINUTES OF LEAVING THE BATCH PLANT.
- NO CONCRETE SHALL HAVE AN AGGREGATE SMALLER THAN 3/8".
- NO CONCRETE SHALL BE POURED AT A SLUMP GREATER THAN 5".
- ACI CERTIFIED NOZZLE OPERATOR REQUIRED FOR SHOTCRETE APPLICATIONS ON BANKS AND TRANSITIONS STEEPER THAN 20 DEGREES.
- ALL VERTICAL FACES SHALL BE VIBRATED SMOOTH WITH NO VOIDS OR PROJECTIONS.
- STEEL COPING SHALL BE ANCHORED BY WELDED STEEL ANCHORS. REBAR IS NOT CONSIDERED A STEEL ANCHOR. ALL ANCHORS SHALL BE AT A MINIMUM COLD ROLLED BLACK STEEL ROD OR BOLTS.
- STEEL COPING ANCHORS SHALL NEVER BE PLACED WITH 2" OF SURFACE OF CONCRETE TO AVOID CRACKING AND RUST BROADCAST.
- ALL CONCRETE SHALL HAVE 1/8" RADIUS TOOLED EDGE IN ANY INSTANCE WHERE IT COMES IN CONTACT WITH STEEL EDGING.
- VERTICAL 1/2" STEEL PLATE IS EXCEPTED FROM ABOVE REQUIREMENT.

SKATEPARK WARRANTY INFORMATION

CONTRACTOR SHALL ACCEPT WARRANTY ITEMS AS FOLLOWS:

- CONTRACTOR SHALL WARRANT THAT THE PRODUCT SHALL BE FREE FROM HYDRATION CRACKING FOR THE ENTIRE DURATION OF THE CONSTRUCTION PROJECT.
- CRACKS IN EXCESS OF 1/4" SHALL BE WARRANTED FOR ONE (1) YEAR.
- ALL STEEL EDGING SHALL BE WARRANTED AGAINST BECOMING LOOSE FOR A PERIOD OF ONE (1) YEAR.
- ALL CONCRETE SURFACES SHALL WARRANTED AGAINST SURFACE SPALLING OR SCALING FOR A PERIOD OF ONE (1) YEAR.
- CONCRETE UNDER OR ADJACENT STEEL EDGING OR COPING SHALL BE FREE FROM VOIDS, CHIPPING, AND/OR FAILURE FOR A PERIOD OF ONE (1) YEAR.

1

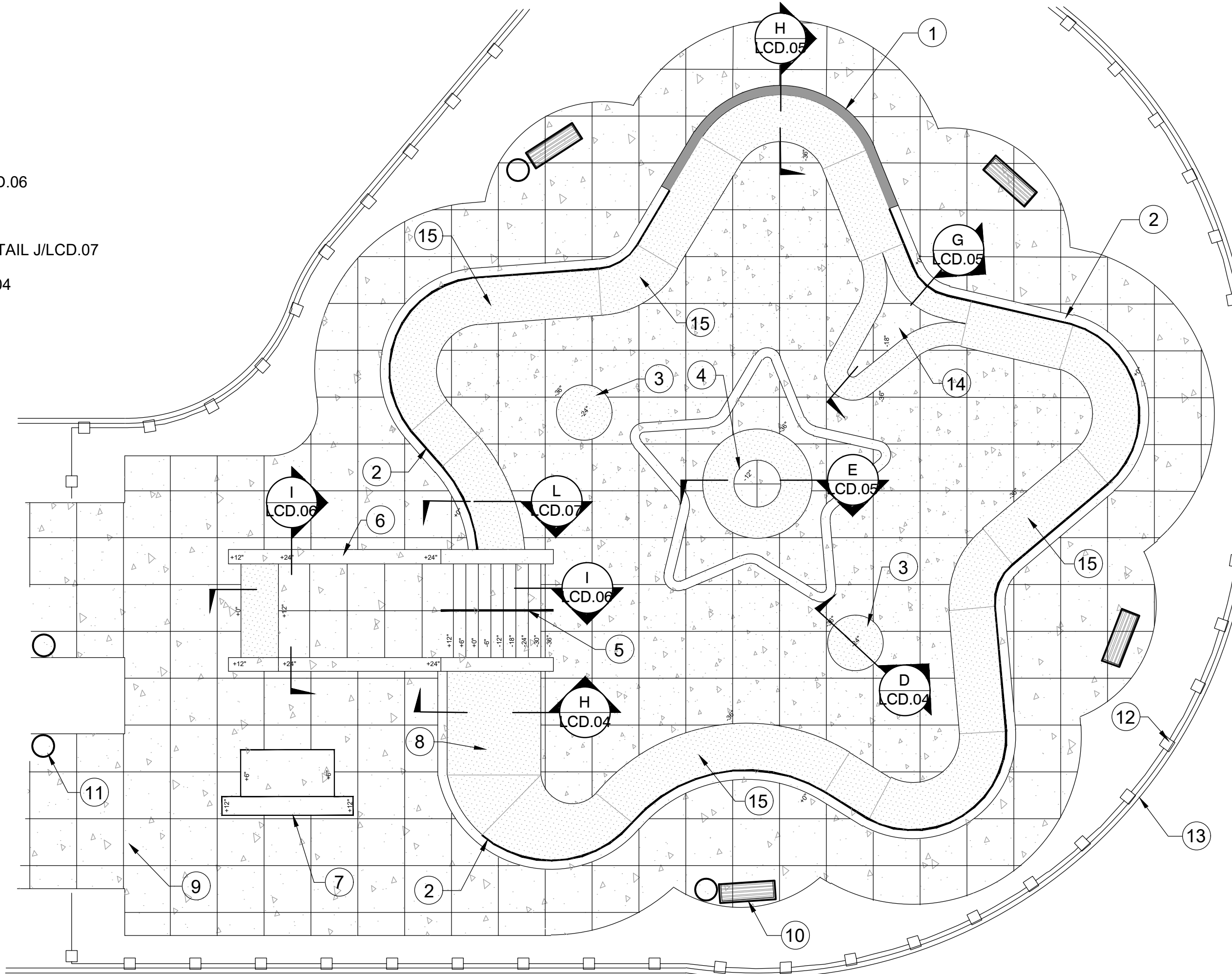


A SKATE PARK LAYOUT

1" = 10'

P-LA2-CNST-101

- 1 EXTENSION DETAIL H/LCD.05
- 2 STEEL COPING DETAIL L/LCD.07
- 3 PUMP BUMP DETAIL D/LCD.04
- 4 VOLCANO DETAIL E/LCD.05
- 5 STAIRS AND DOWN RAIL DETAIL I/LCD.06
- 6 HUBBA DETAIL I/LCD.06
- 7 WALLY LEDGE AND MANUAL PAD DETAIL J/LCD.07
- 8 ROLL IN DOWN RAMP DETAIL C/LCD.04
- 9 4" THICK NAT. GREY CONCRETE PAVING
- 10 BENCHES, REFER TO SITE LAYOUT PLAN AND DETAILS
- 11 TRASH RECEPTACLES, REFER TO SITE LAYOUT PLAN AND DETAILS
- 12 42" VIEW SAFETY FENCING, REFER TO DETAIL
- 13 6x6 CONC. MOW CURB, REFER TO SITE LAYOUT PLAN AND DETAILS
- 14 STEP UP DETAIL G/LCD.05
- 15 BOWL DETAIL F/LCD.05



B SKATE PARK REFERENCE PLAN

1" = 10'

P-LA2-CNST-102

These drawings, related specifications, ideas, designs and arrangements represented herein are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others used in connection with any work or project other than the specific project which they have been prepared and developed without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute condonation or acceptance of these conditions.


CONSTRUCTION DETAILS

LAMONT PARK
SITE PLANNING
SEGRUE RD. & MYRTLE AV.
LAMONT, CALIFORNIA

DATE	ISSUED FOR

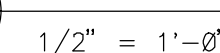
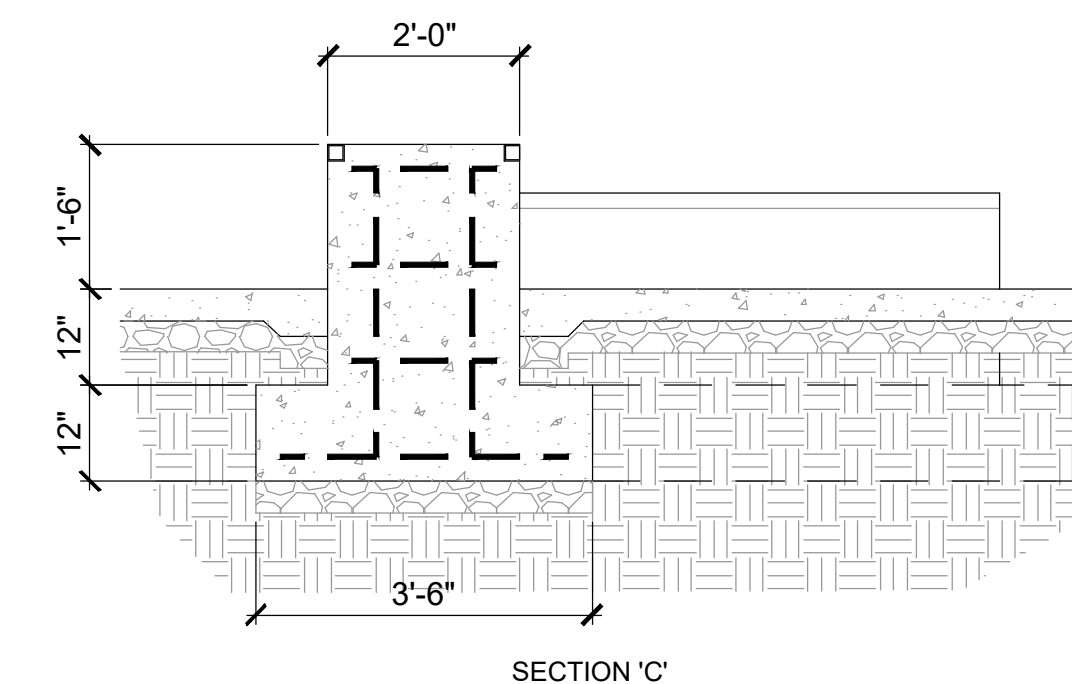
REVISION	DESCRIPTION
1	FLASH PAD TOBOLA LINE SKATE PARK DETAIL 12/2/2024

JOB	LCD.04
DP	
PM MM AC	
11 OF 36	

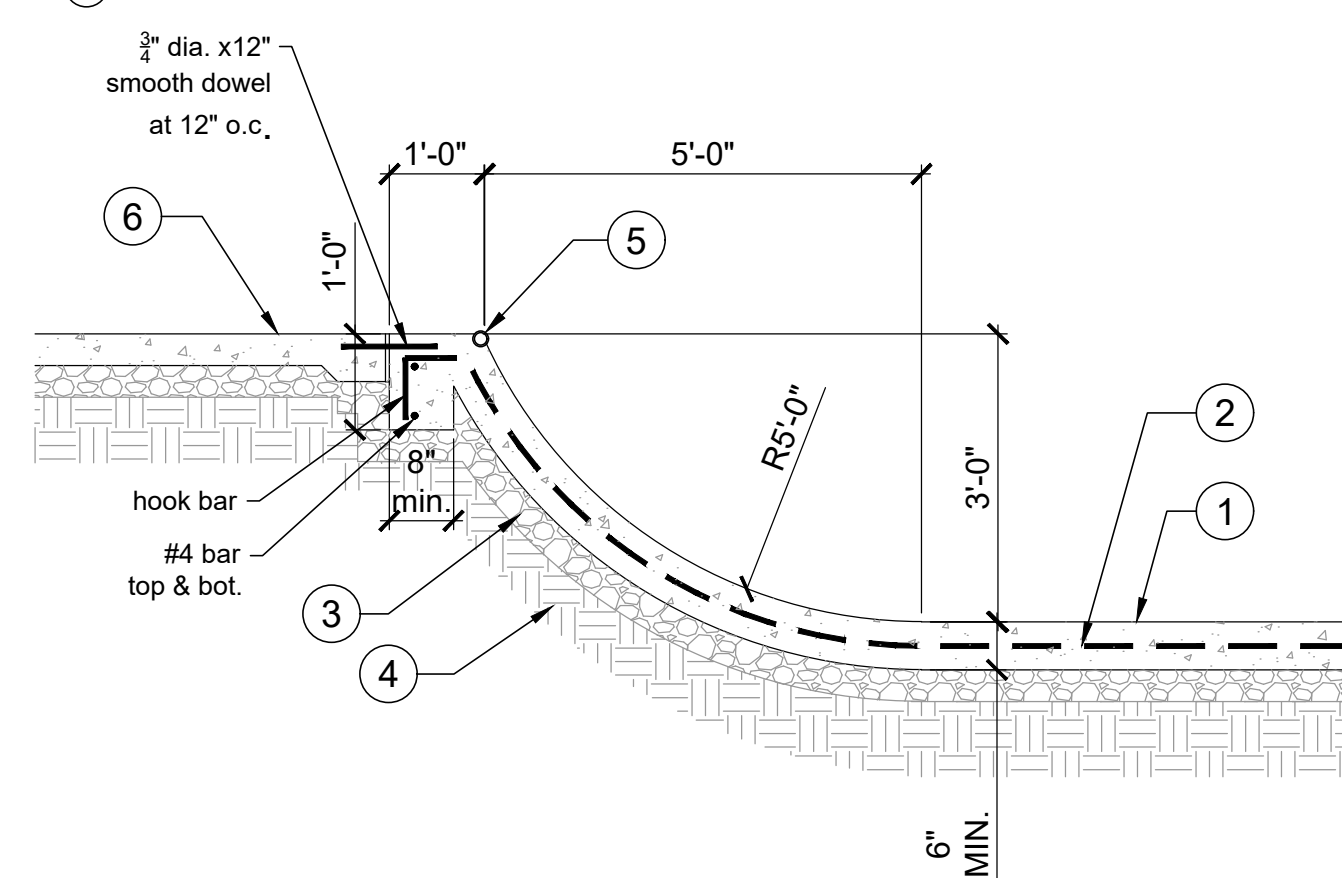
REVISION	DESCRIPTION
	SPLASH PAD DRAIN LINE SKATE PARK DETAIL 3/5/2024

JOB	LCD.07
DP	
PM MM AC	

14 OF 36



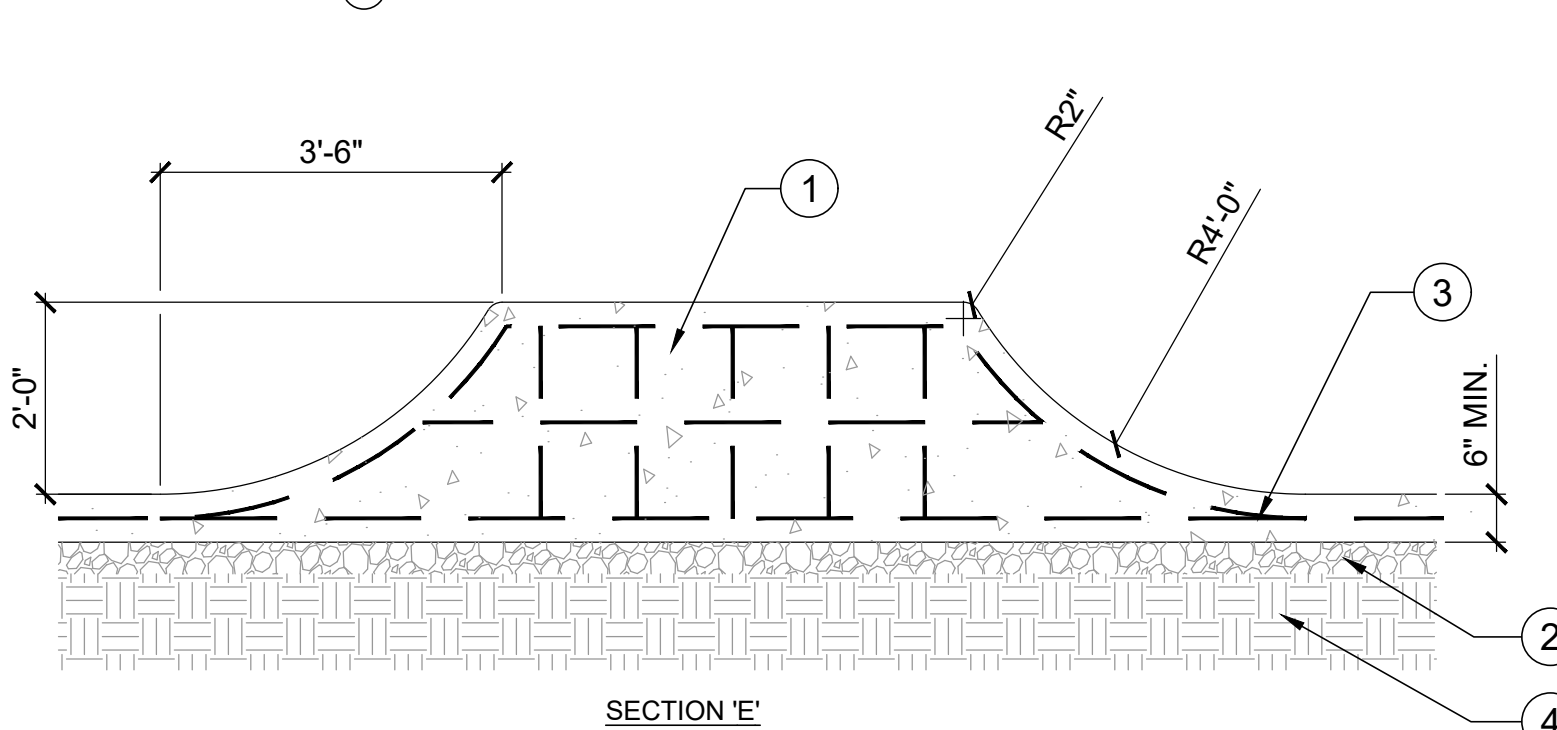
- ① CONCRETE, 4,000 PSI MIN., AGGREGATE 3/8" OR SMALLER, NO SLUMP GREATER THAN 5"
 ② #3 REBAR, 12" O.C. BOTH DIRECTIONS
 ③ 3/4" MINUS CRUSHED ROCK, 4" MIN. DEPTH
 ④ COMPACTED SUBGRADE
 ⑤ STEEL COPING, REFER TO DETAIL
 ⑥ ADJACENT CONCRETE WALKWAY ABOVE SKATE PARK BOWL, 4" DEPTH



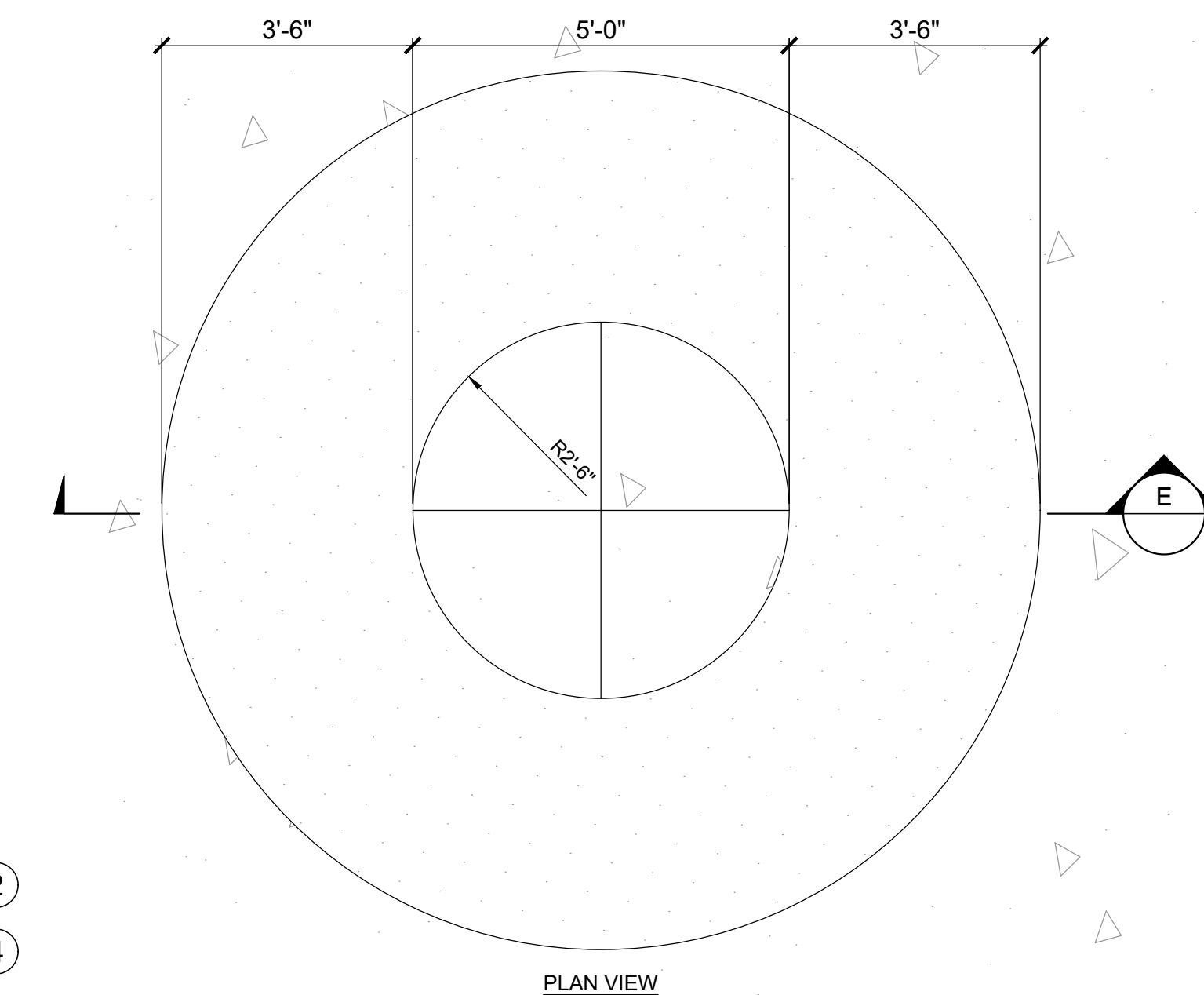
F BOWL DETAIL
 N.T.S.

P-LA2-CNST-112

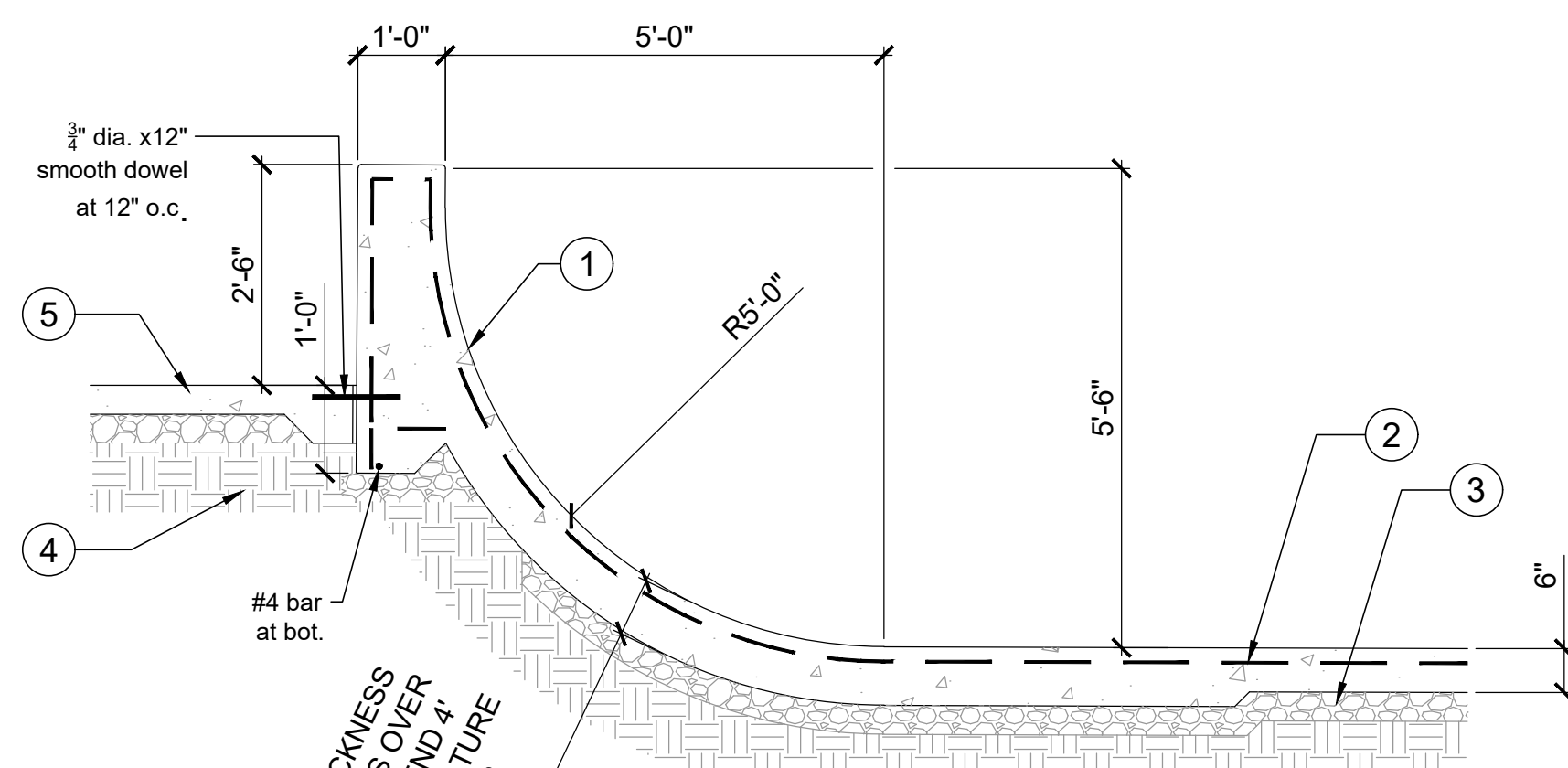
- ① CONCRETE, 4,000 PSI MIN., 3/8" DIA. AGGREGATE, 5" MAX. SLUMP
 ② 3/4" MINUS CRUSHED ROCK, 4" MIN. DEPTH
 ③ #3 REBAR, BOTH DIRECTIONS
 ④ COMPACTED SUBGRADE



E VOLCANO DETAIL
 N.T.S.

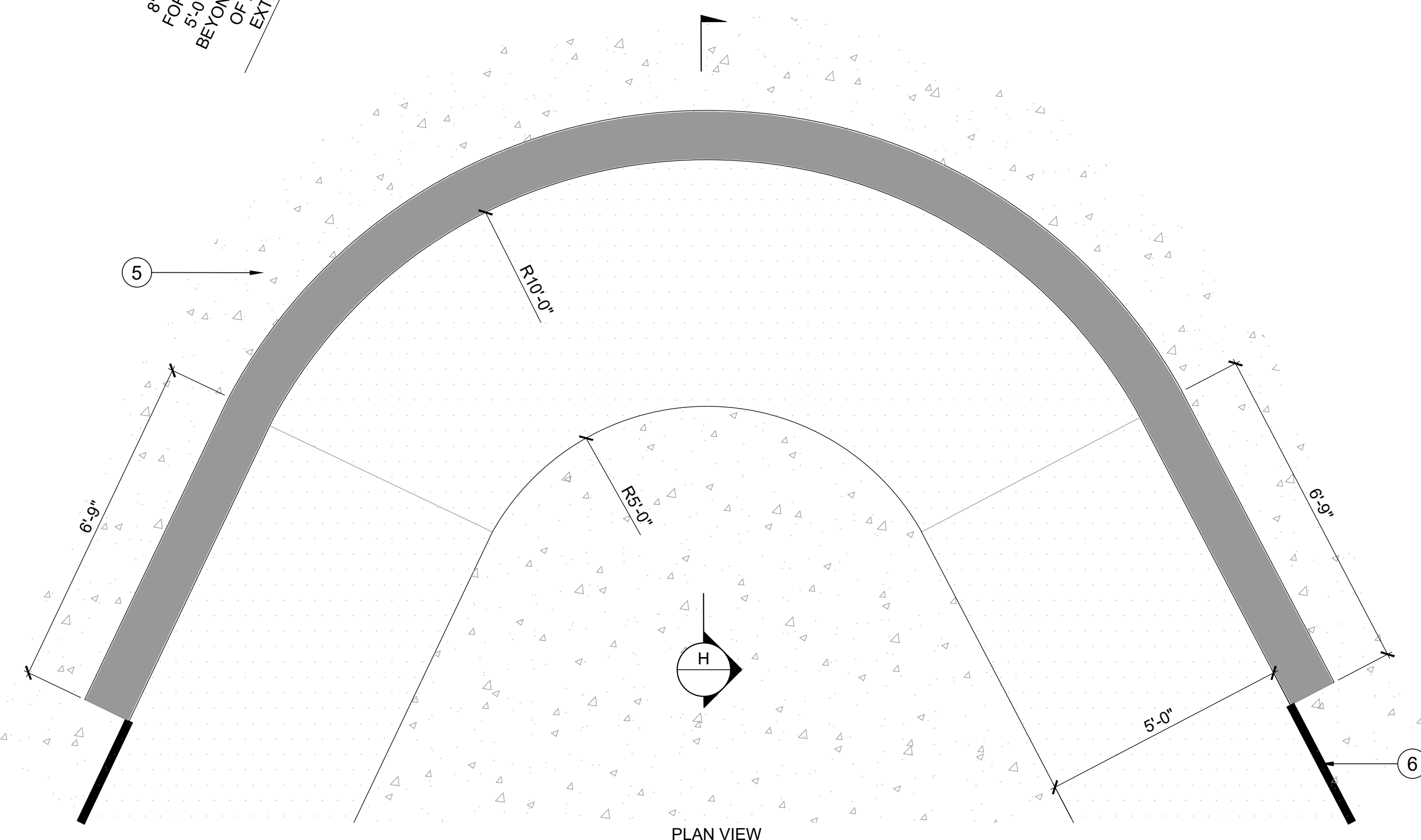


P-LA2-CNST-107



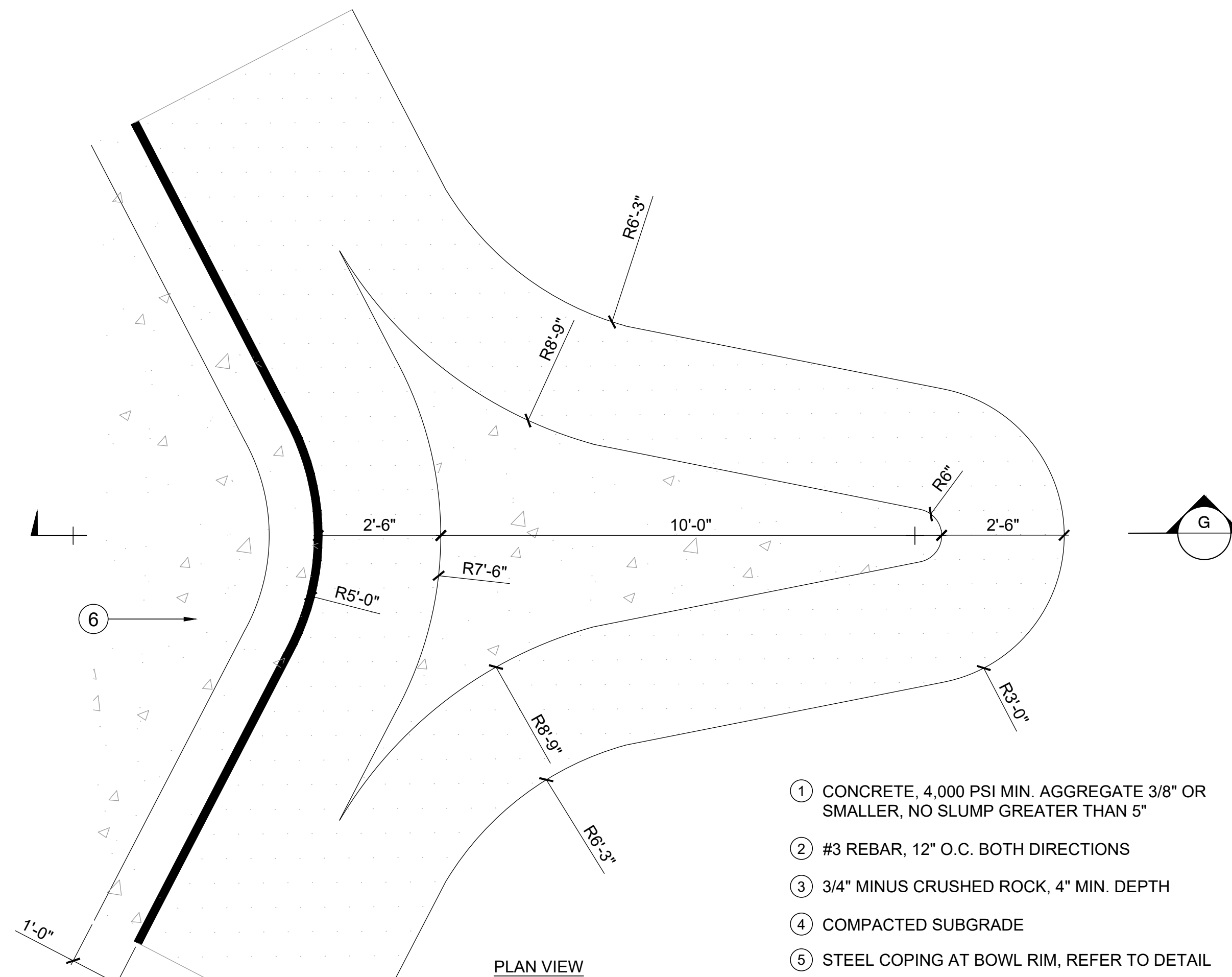
SECTION 'H'

- ① CONCRETE, 4,000 PSI MIN., AGGREGATE 3/8" OR SMALLER, NO SLUMP GREATER THAN 5"
 ② #3 REBAR, 12" O.C. BOTH DIRECTIONS
 ③ 3/4" MINUS CRUSHED ROCK, 4" MIN. DEPTH
 ④ COMPACTED SUBGRADE
 ⑤ ADJACENT 4" THICK CONCRETE WALKWAY ABOVE SKATE PARK BOWL
 ⑥ STEEL COPING AT BOWL RIM, REFER TO DETAIL

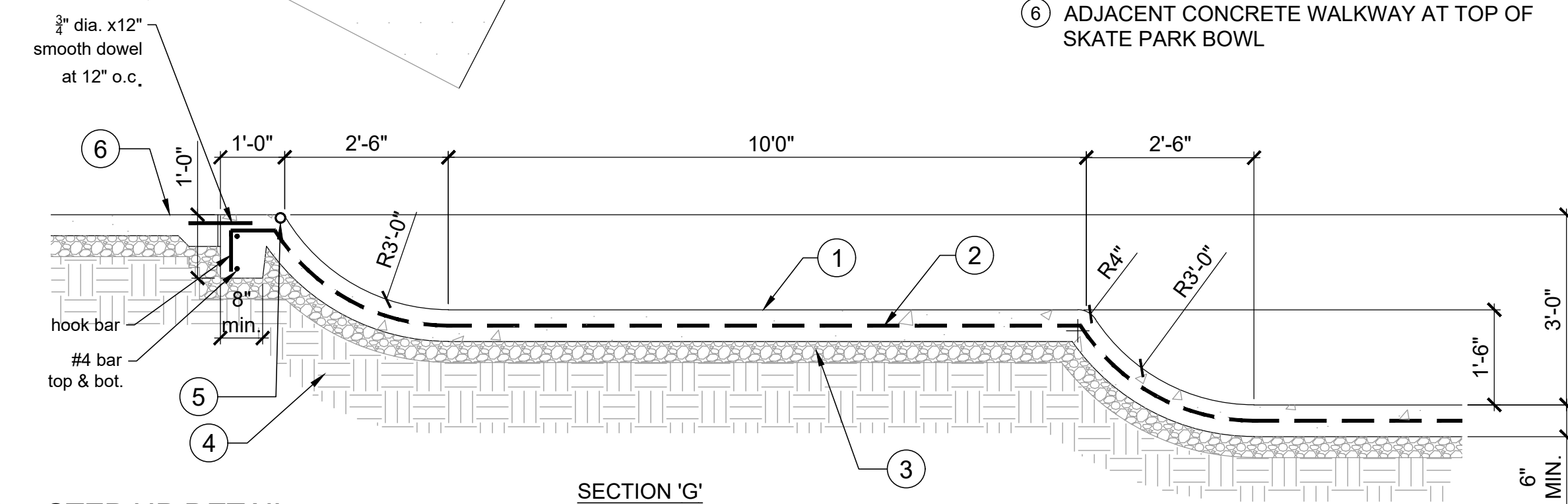


H EXTENSION DETAIL
 N.T.S.

P-LA2-CNST-108



- ① CONCRETE, 4,000 PSI MIN. AGGREGATE 3/8" OR SMALLER, NO SLUMP GREATER THAN 5"
 ② #3 REBAR, 12" O.C. BOTH DIRECTIONS
 ③ 3/4" MINUS CRUSHED ROCK, 4" MIN. DEPTH
 ④ COMPACTED SUBGRADE
 ⑤ STEEL COPING AT BOWL RIM, REFER TO DETAIL
 ⑥ ADJACENT CONCRETE WALKWAY AT TOP OF SKATE PARK BOWL



G STEP UP DETAIL
 1/2" = 1'-0"

P-LA2-CNST-110

These drawings, related specifications, ideas, designs and arrangements represented hereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed or others used in connection with any work or project other than the specific project which they have been prepared and developed without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute conclusive acceptance of these restrictions.



88 N Oak Street Suite 1A
 Ventura, California 93001
 Phone 861-295-1970
 Fax 861-295-1999



Know what's below.
 Call before you dig.



CONSTRUCTION DETAILS

LAMONT PARK SITE PLANNING

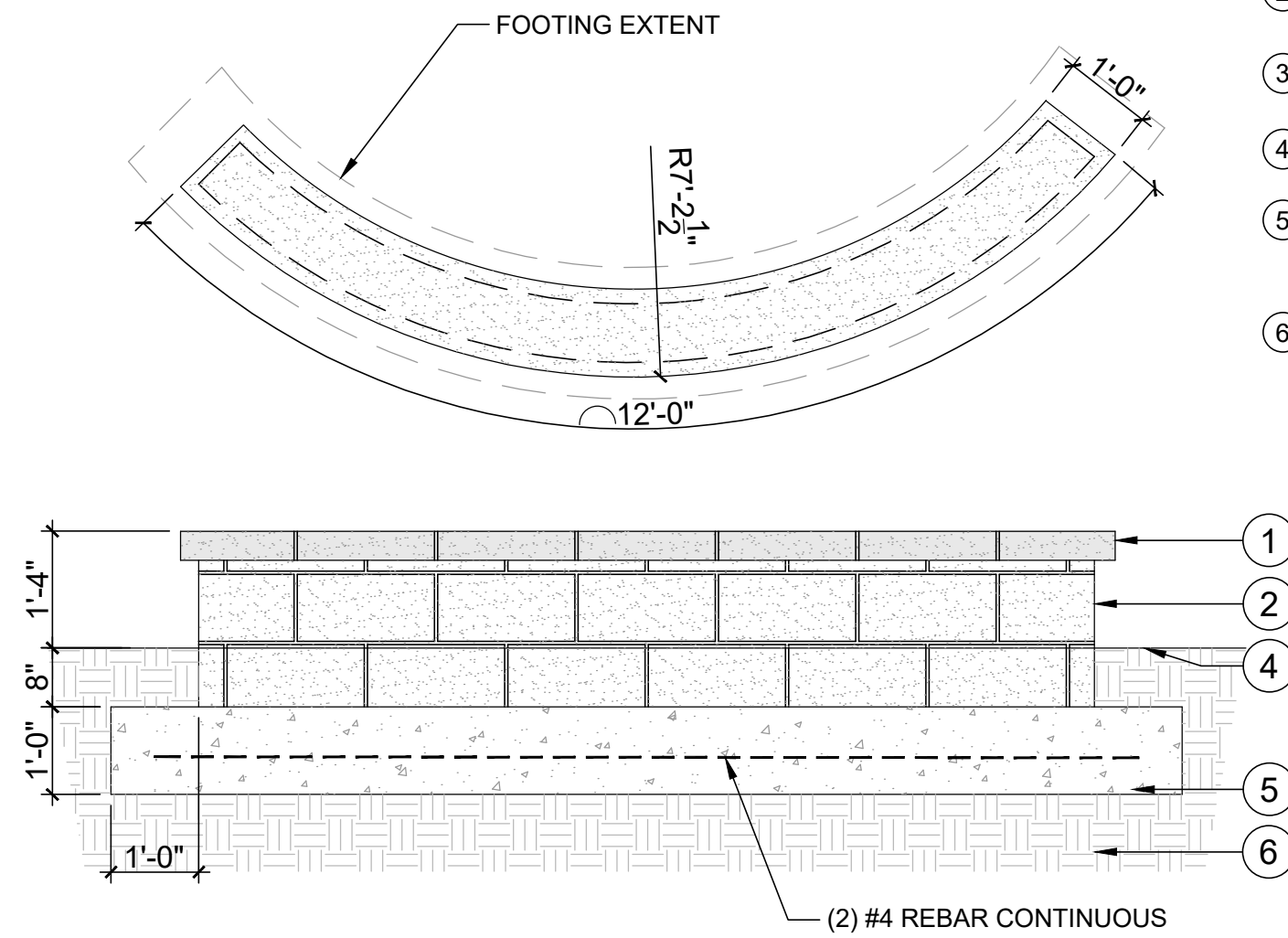
SEGRUE RD. & MYRTLE AV.
 LAMONT, CALIFORNIA

DATE	ISSUED FOR

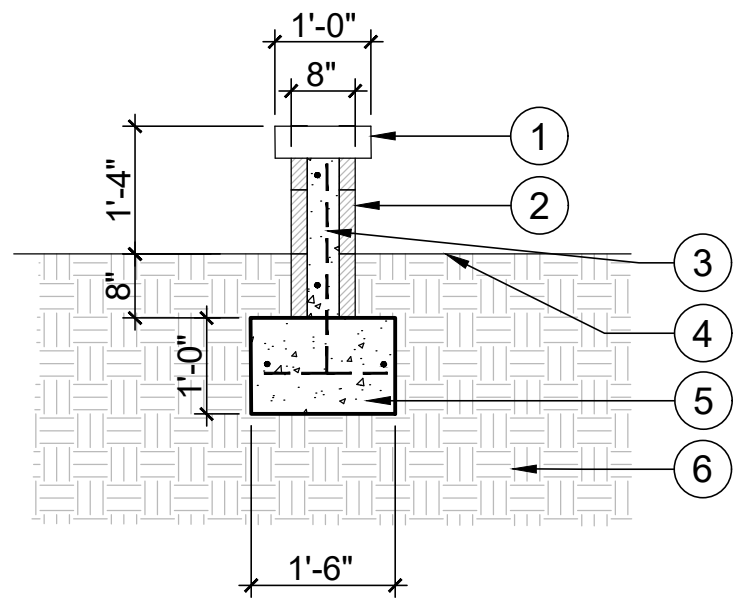
REVISION	DESCRIPTION
1	FLASH: P&S DRAWING SKATE PARK DETAIL 10/22/2024

JOB	
DP	LCD.05
FM	MM AC
	12 OF 36

NOTE:
USE CAP TERMINAL/END PIECES
AT EDGES OF WALL.



- 1 WALL CAP, REFER TO CONSTRUCTION SCHEDULE FOR MATERIALS AND FINISH.
- 2 8 x 8 x 16 CMU BLOCK ; GROUT FILL ALL CELLS; REFER TO CONSTRUCTION SCHEDULE FOR MATERIALS AND FINISH.
- 3 #4 REBAR AT 24" O.C. AT CENTER OF BLOCK AND STD. HOOK INTO FOUNDATION
- 4 FINISH GRADE
- 5 REINFORCED CONCRETE FOOTIN WITH (2) #4 BARS CONTINUOUS AND #4 REBAR AT 16" O.C. AT EACH VERTICAL DOWEL
- 6 90% COMPACTED SUBGRADE

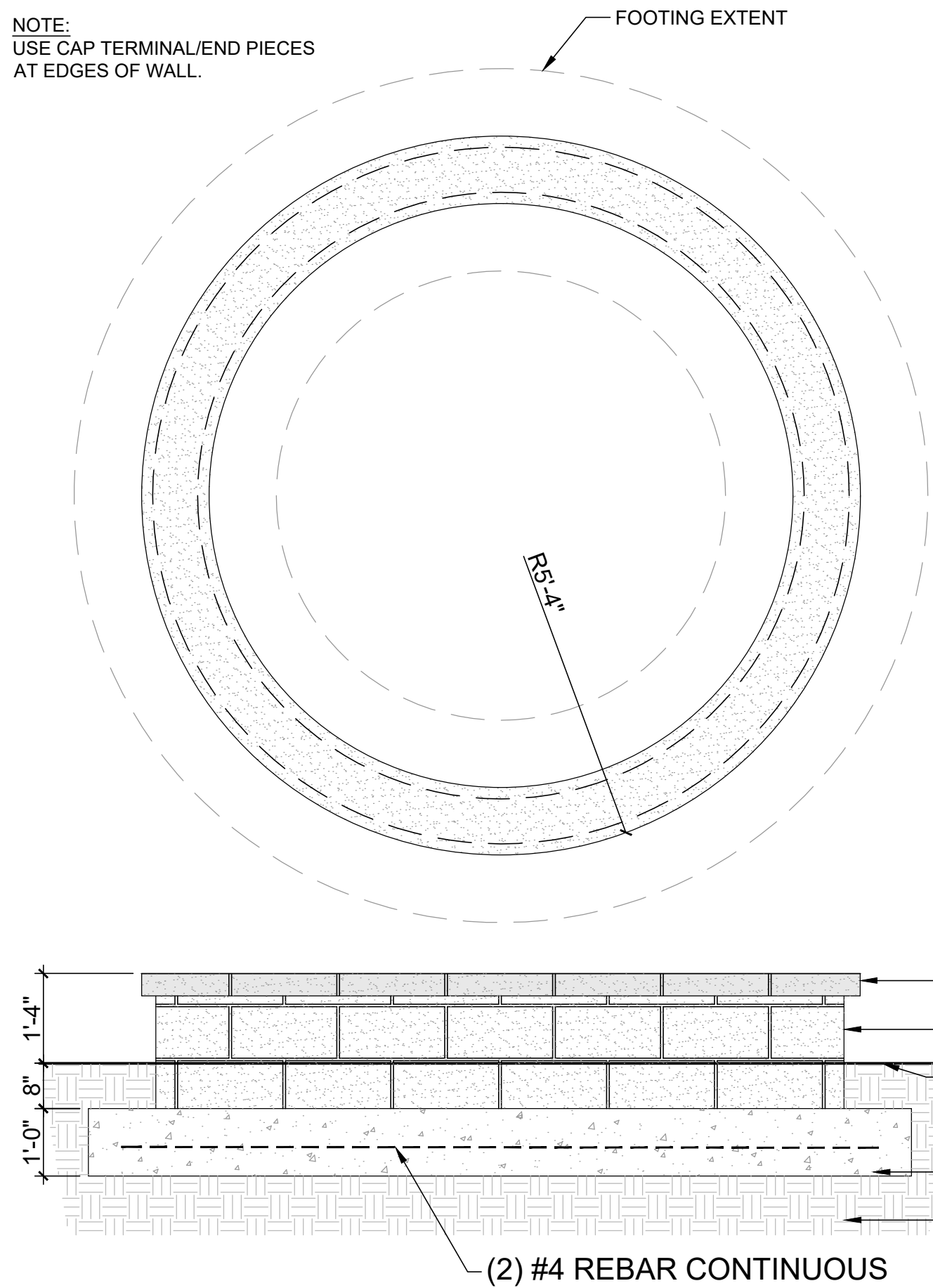


M SEATWALL AT SPLASH PAD

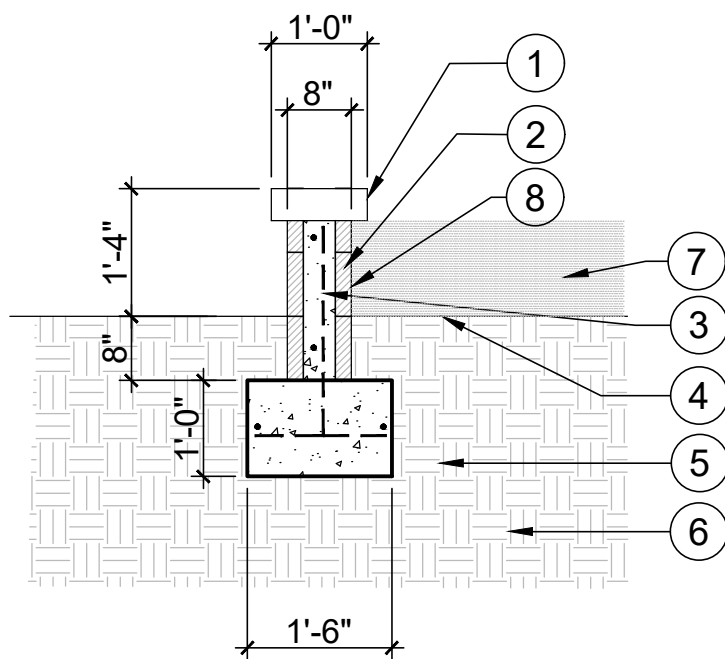
1/2" = 1'-0"

P-LA2-CNST-115

NOTE:
USE CAP TERMINAL/END PIECES
AT EDGES OF WALL.



- 1 WALL CAP, REFER TO CONSTRUCTION SCHEDULE FOR MATERIALS AND FINISH.
- 2 8 x 8 x 16 CMU BLOCK ; GROUT FILL ALL CELLS; REFER TO CONSTRUCTION SCHEDULE FOR MATERIALS AND FINISH.
- 3 #4 REBAR AT 24" O.C. AT CENTER OF BLOCK AND STD. HOOK INTO FOUNDATION
- 4 FINISH GRADE
- 5 REINFORCED CONCRETE FOOTING WITH (2) #4 BARS CONTINUOUS AND #4 REBAR AT 16" O.C. AT EACH VERTICAL DOWEL
- 6 90% COMPACTED SUBGRADE
- 7 GARDEN SOIL BACKFILL
- 8 HENRY'S WATERPROOFING



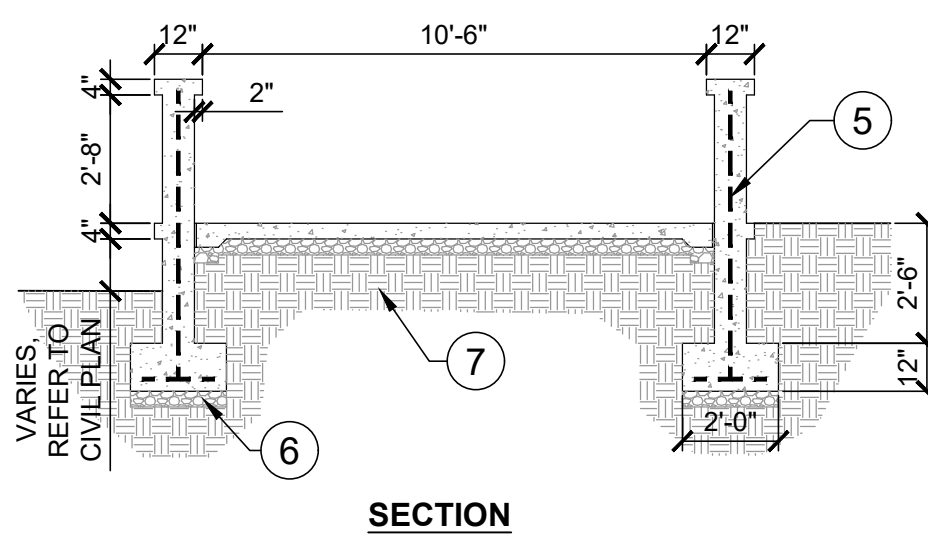
P SEATWALL AT SUNKEN GARDEN

1/2" = 1'-0"

P-LA2-CNST-116

O CONCRETE BRIDGE DETAIL

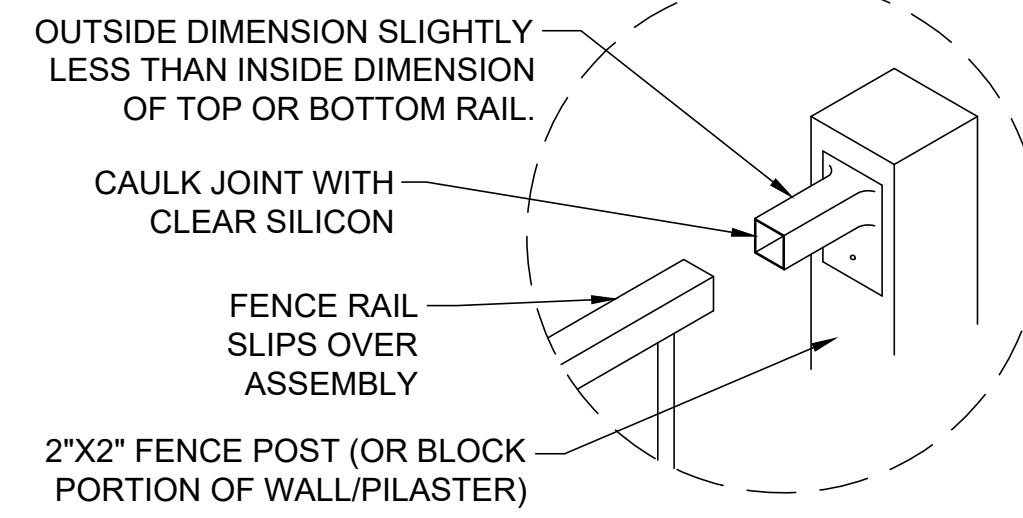
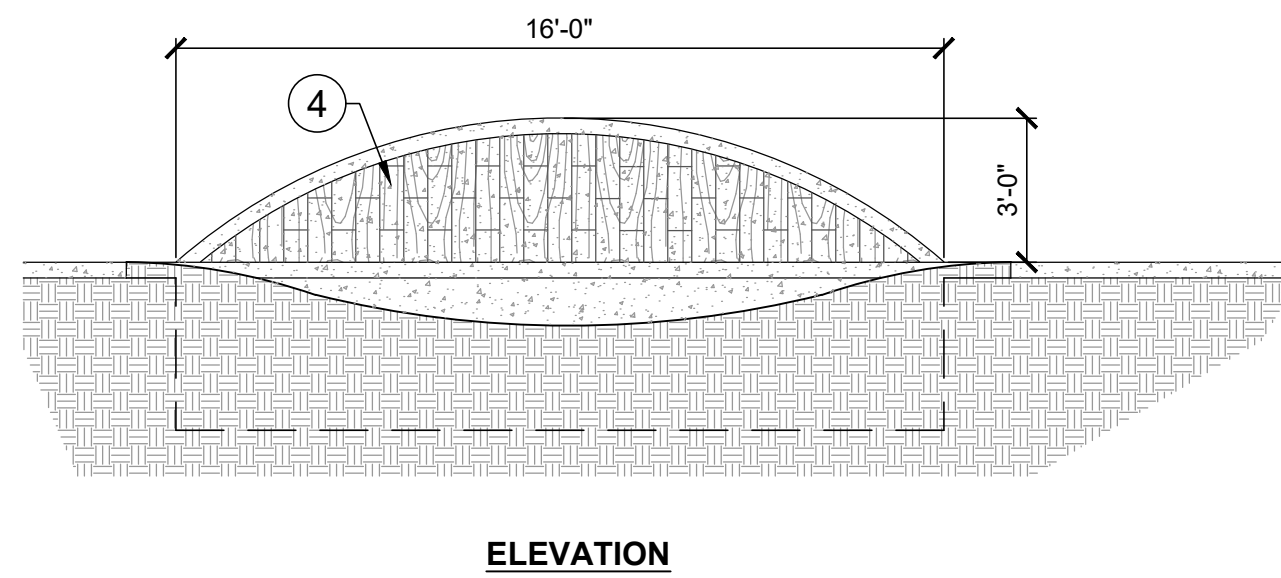
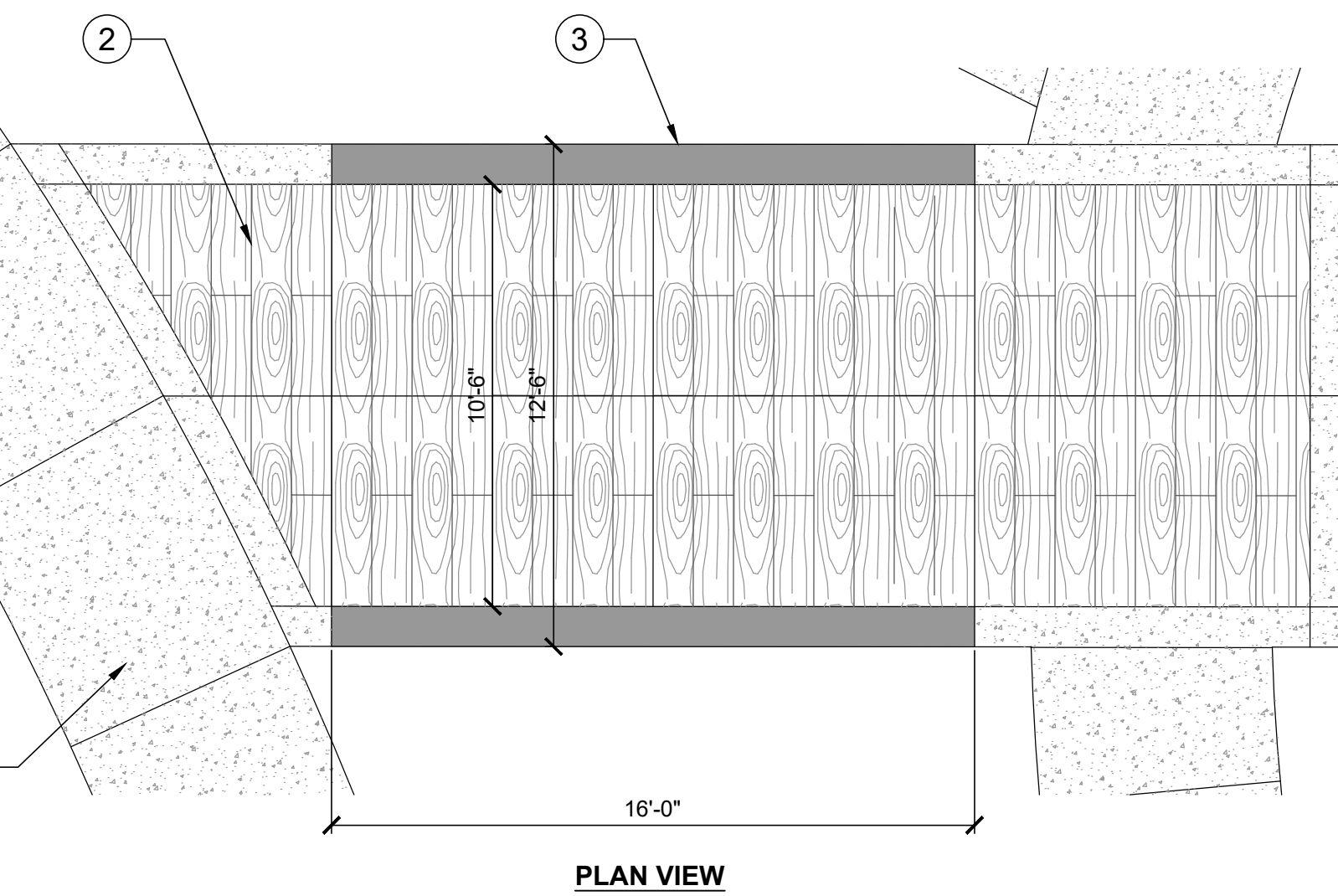
1/4" = 1'-0"



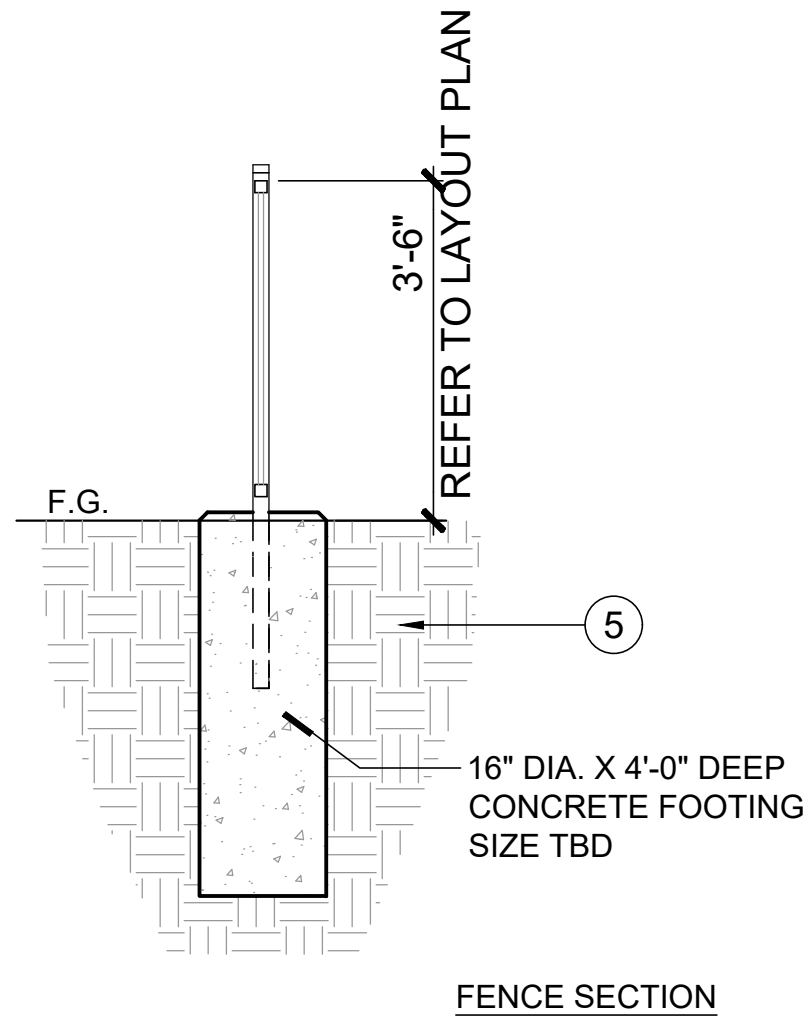
L 42" TUBULAR STEEL FENCE

1/2" = 1'-0"

P-LA2-CNST-33



BRACKET ATTACHMENT DETAIL



FENCE SECTION

- 1 1-1/2" SQ. TUBE STEEL (16 GA.) TOP RAILING, & BOTTOM RAILING, 2" SQ. (11 GA.) FOR 8' FENCE
- 2 5/8" TUBE STEEL PICKETS (18 GA.), 3/4" FOR 8' FENCE, 4-1/2" ON-CENTER, WELDED TO TUBE STEEL RAILINGS
- 3 2" SQ. TUBULAR STEEL POST WITH CAP (11 GA.)
- 4 BRACKET ATTACHMENT
- 5 COMPACTED SUBGRADE

NOTE:

ALL TUBE STEEL MATERIAL TO BE PREGALVANIZED.

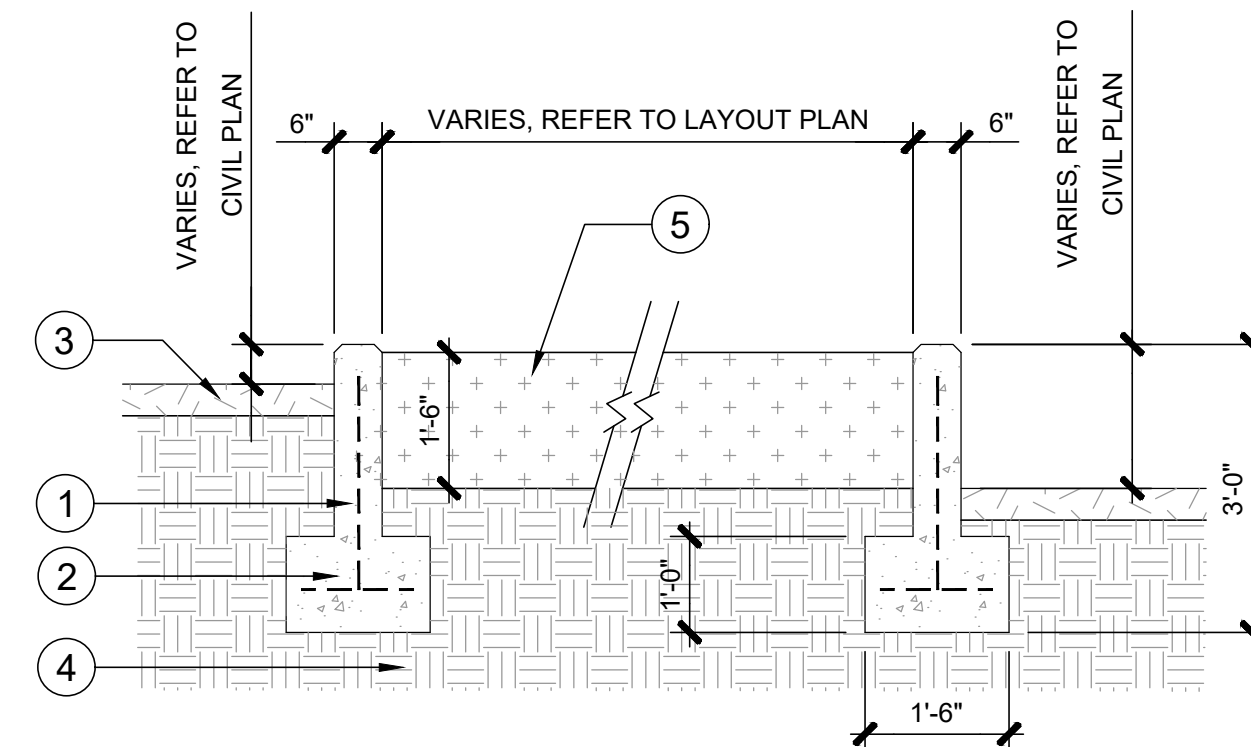
PAINT TUBE STEEL WITH ONE COAT EPOXY PRIMER & TWO COATS POLYURETHANE FINISH, COLOR TIGER DRY LAC #9004 BLACK

ALL PICKET CONTINUOUS WELDS AND COLD GALVANIZED APPLIED TO WELDS

CONNECT TUBE STEEL PANELS TO POST WITH SLIDER BRACKETS (NO WELDING)

GRIND ALL ROUGH EDGES OF WELDED TUBE STEEL

- 1 CONCRETE RETAINING CURB COLOR: NATURAL GREY REFER TO CIVIL ENGINEER PLANS FOR EXPOSED HEIGHT. CHAMFER ALL EDGES AT 45 DEGREE ANGLE.
- 2 CONCRETE FOOTING WITH #3 REBAR
- 3 DECOMPOSED GRANITE AT 3" REFER TO DETAIL FOR INSTALLATION AND TYPE
- 4 COMPACTED SUBGRADE
- 5 PLANTING AREA. SOIL PER SOILS REPORT RECOMMENDATIONS. PLANTING PER PLANTING PLAN.



N SUNKEN GARDEN RETAINING CURB

N.T.S.

P-LA2-CNST-114

925 17th Street
Bakersfield, CA 93301
(661) 334-2741
skarpholfrank.com

These drawings, related specifications, ideas, designs and arrangements represented hereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others used in connection with any work or project other than the specific project which they have been prepared and developed without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute conclusive acceptance of these restrictions.



88 N Oak Street, Suite 1A
Ventura, California 93001
Phone 805.295.1970
Fax 805.295.1969



Know what's below.
Call before you dig.



CONSTRUCTION DETAILS

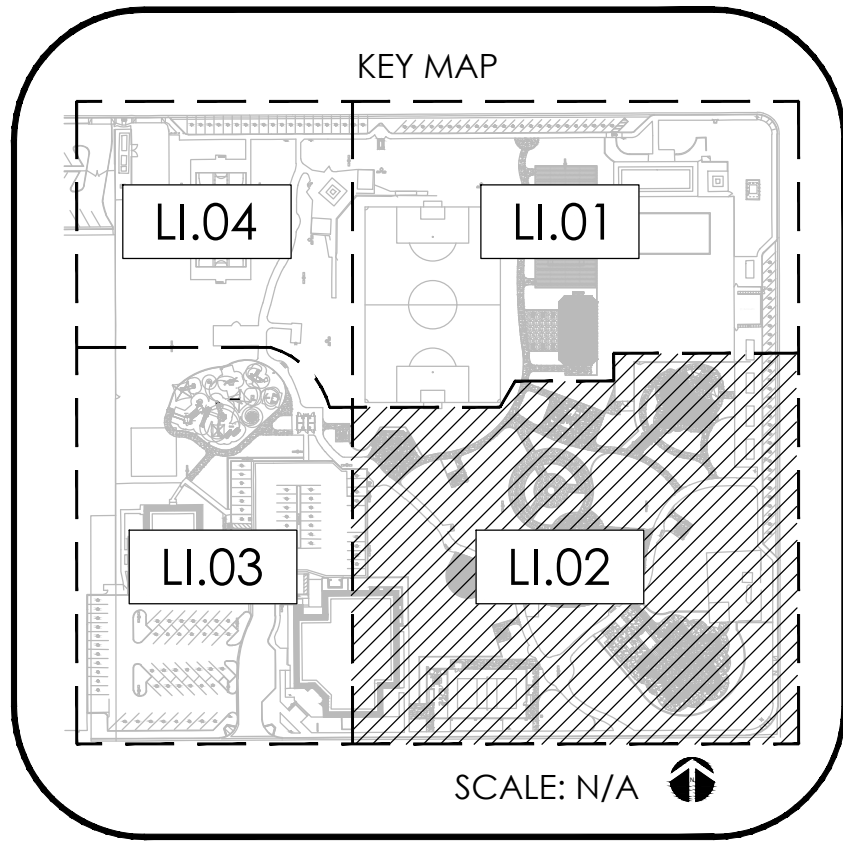
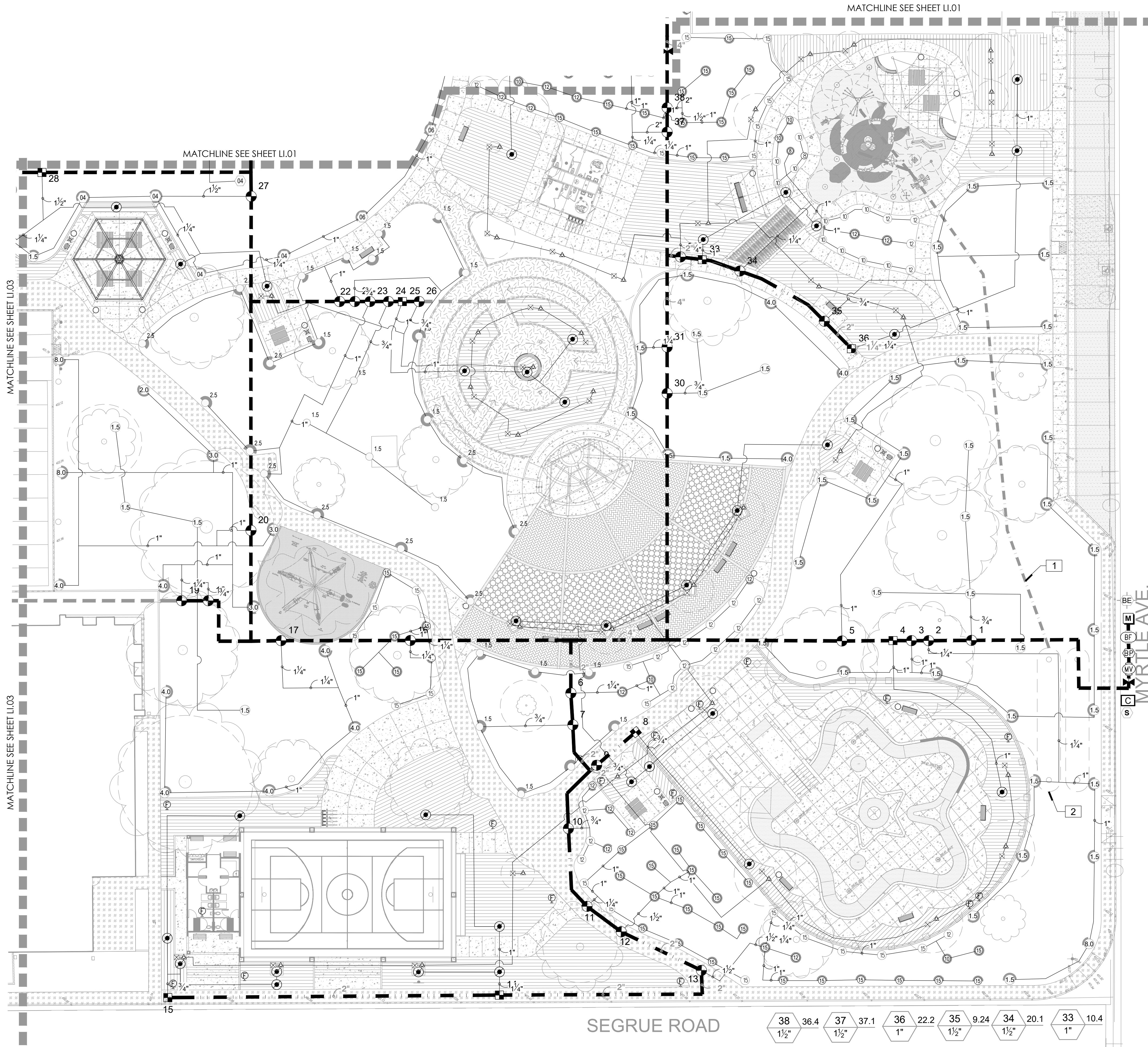
LAMONT PARK SITE PLANNING

SEGRUE RD. & MYRTLE AV.
LAMONT, CALIFORNIA

DATE	ISSUED FOR

REVISION	DESCRIPTION
1	SLASH PAD TO ADD LINE SITE PARK DETAIL 10/2/2024

DESIGNED BY	LCD.09
DRAWN BY	
CHECKED BY	
DATE	10/2/2024



REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	6" SCH. 40 PURPLE PVC PIPE CONNECTED TO SPLASH PAD DRAINS, CONNECT TO WATER STORAGE TANKS
2	UNDERGROUND SPLASH PAD WATER COLLECTION TANKS NORWESCO 20,000 GALLON UNDERGROUND TANK. TANKS TO BE CONNECTED TOGETHER PER MANUFACTURER'S RECOMMENDATION. PROVIDE MANHOLE EXTENSIONS AS NEEDED. PROVIDE VENTING AS REQUIRED. PROVIDE AN OVERFLOW PIPE FROM THE TANKS TO THE ADJACENT SEWER. SEWER CONNECTION PER LOCAL CODE. AVAILABLE FROM SITE ONE. CONTACT JUSTIN SMITH (747) 900-3696

POINT OF CONNECTION
IRRIGATION WATER METER LOCATION
STATIC PRESSURE: 50 PSI

LAMONT PUBLIC UTILITY DISTRICT
VERIFIED ON: 10/23/2023
661.845.1213

IRRIGATION PLAN

LAMONT PARK
SITE PLANNING
SEGRUE RD. & MYRTLE AV.
LAMONT, CALIFORNIA

DATE	ISSUED FOR

REVISION	DESCRIPTION
1	DR. ADDED PAV. DRAIN LINE 6/21/2024

JOB	LI.02
CD	
FW - MM - AD	
20 OF 36	