



Construction Management, Inc.

2444 Main Street, Suite 130
Fresno, CA 93721
T 559-496-0536
F 559-860-0173
www.vanir.com

ADDENDUM 2

Date: September 5, 2024

Attn: Prospective bidders

Re: NOTIFICATION OF ADDENDUM 2:
David. T. Cardenas Senior Center & Police Headquarters Project.

This Addendum serves to notify all interested bidders of clarifications and/or changes to the bid documents. Proposers are required to acknowledge receipt of the addendum in their Bid Packet. If not acknowledged, Proposer's bid submittal may be considered "non-responsive".

- 1. Bid Opening date has been pushed back to Thursday, September 19, 2024 @ 2:00pm**
2. Contractor to include Allowance #01: Signage, in the amount of \$25,000.00. General Contractors OH&P to be included in the base bid amount. Allowable mark-up will only be allowed for sub-contractor per Division 01. The following signs are to be part of this allowance only:
 - a. 9/11 memorial monument sign
 - b. Any dedication plaque (both interior and/ or exterior)
 - c. Any state plaque at lobby or offices
 - d. Any exterior building signage except for the following:
 - i. ADA sign, room signs, signage required by fire department.
3. The last day to submit RFBI's will be Friday, September 6, 2025, by 5pm.
4. The Final Addendum #03 will be issued on Monday, September 9, 2024 which will include the balance of RFBI's still under review, and any other RFBI's submitted by the aforementioned due date.



See RFBI's attached.

5. RFBI-002_SC-RFI-001_Food Service Equipment Specification
6. RFBI-003_FF-RFI-001_Fence Clarification
7. RFBI-004_SM-RFI-001_Fire Alarm Manufacturer
8. RFBI-005_IEC-RFI-002_PG&E Rule 16
9. RFBI-006_FR-RFI-003_Soils Report
10. RFBI-007_AMG-RFI-001_Signage
11. RFBI-008_AMG-RFI-002_Tile
12. RFBI-009_CSI-RFI-001_Demolition Scope
13. RFBI-010_SC-RFI-005_CMU Wall @ Rm 111 & 113 – GL D.6
14. RFBI-011_SC-RFI-007_Brick Veneer Anchoring System
15. RFBI-012_QG-RFI-002_Wall Footing at Lieutenants
16. RFBI-013_QG-RFI-003_Concret Wall at Planters
17. RFBI-014_QG-RFI-006_Tile

All other requirements remain unchanged. Thank you for your interest in doing business with the City and we look forward to receiving a bid from your firm.

Roy Magdaleno, CCM, Assoc. DBIA
Central California Deputy Area Manager | Associate



Sixty Years of Legacy
Since 1964

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Seals Construction, Inc.
9410 W. Placer Ave.
Visalia, CA 93291
P: 559-651-4040
F: 559-651-4145
www.sealsconstruction.com

REQUEST FOR INFORMATION

RFBI-02

SUBJECT	Food Service Equipment Specification	NUMBER	PB-001
PROJECT #	B24008	SUBMITTED FROM	8/20/24 Seals Construction, Inc.
PROJECT ADDRESS	Fowler, DTC Senior Center & Police HQ 108 N. 3 rd St, Fowler, CA 93625	RETURN TO	Nick Seals nick.seals@sealsconstruction.com
TO ATTENTION ADDRESS	Vanir Roy Magdaleno	DRAWING SPECS. REFERENCE IMPACT	

QUESTION

Please provide a Specification Section for Food Service / Kitchen Equipment.

ARCHITECT/ENGINEER REVIEW *(comments and stamps)*

Refer to Kitchen Equipment schedule on Sheet A-620. Equipment are shown as basis of design or provide equal.

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-03-FF-001
From: Fresno Fence Connection **Date:** 8/26/24
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Fencing Clarification

Drawings: C4, A-104 **Specifications:** _____ **Division No.:** 32

Description Of Problem / Clarification / Information Required:

Civil and Arch. Plans refer to automatic rolling gates. Decorative metal Specs. suggest these gates are to be Decorative metal, is there a detail available for the rolling gates and Ped gate?

There is a Chain Link Spec. Where is this fence located?
Please advise.

Contractor's Proposed Solution:

Provide detailed drawings for Decorative Metal gates.
Provide applicable hardware required for Ped gate.
Provide location for Chain Link Fencing and gates if applicable.

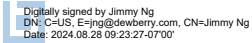
By: Nick Blodgett nick@fresnofenceconnection.com
Name **email**
Phone Number: (559) 0888-0202

Response:

Detailed drawings per manufacturer and refer to manufacturer's website. Refer to spec section 323119 for sliding gates' basis of design information and requirement. The proposed gate is a decorative metal gate but also a security gate.

Pedestrian gate hardware per spec section 333113 Section 2.4.D.

Chain link fencing and gates at K9 Kennel within Secured Parking area. Refer to Sheet A-103.

Respondent: Jimmy Ng Jimmy Ng 
Name **Signature**

Firm: Dewberry Architects **Title:** Project Architect **Date:** 08/28/24

Reviewed by: _____ **Date:** _____

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-04-SM-001
From: Siemens **Date:** 8/30/24
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: FA Manufacturers

Drawings: _____ **Specifications:** _____ **Division No.:** 32

Description Of Problem / Clarification / Information Required:

Is this Fire Alarm Spec is open to all manufacturers, other than Gamewell?

Contractor's Proposed Solution:

By: David Caldwell david.caldwell@siemens.com
Name **email**
Phone Number: 559-230-7202

Response:

Fire Alarm System is open to alternative manufacturers that are equal to Gamewell system as shown.

S. Eastham 09.03.24

Respondent: _____
Name **Signature**

Firm: _____ **Title:** _____ **Date:** _____

Reviewed by: _____ **Date:** _____

PROJECT NO: **50150760**

PROJECT NAME: **DTC Senior Center & Police HQ**

RFI SUBJECT: **PG&E Rule 16 Drawings**

FROM: Mike Crumley

PHONE: (559) 349-5744

EMAIL: mcrumley@iecmail.com

RFI DATE: 8/30/2024

SPECIFICATION SECTION(S)

N/A

PLAN SHEET(S)

N/A

QUESTIONS

Please provide PG&E Rule 16 drawings and specifications.

Response:

Utility Rule 16 drawings are not expected to be available for at least 8-10 weeks. Electrical site plan shows expected utility connection points and conduit.

S. Eastham 09.03.24

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-06-FR-03
From: Fortune-Ratliff **Date:** 8/30/24
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Soils Report

Drawings: N/A **Specifications:** _____ **Division No.:** 01

Description Of Problem / Clarification / Information Required:

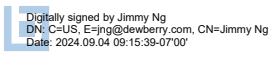
Please provide the soils report, I cannot locate it in the specification volumes.

Contractor's Proposed Solution:

By: Adam Myles adamm@fortuneratliff.com
Name **email**
Phone Number: 559.432.1306

Response:

Please refer to Page 489 - 578 of PDF named as "Specification Division 00-02" in Bid Documents

Respondent: Jimmy Ng Jimmy Ng 
Name **Signature**
Firm: Dewberry Architects **Title:** Project Architect **Date:** 09/04/24
Reviewed by: _____ **Date:** _____

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-07-AMG-001
From: AMG & Associates Inc **Date:** 08/30/24
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Signage

Drawings: _____ **Specifications:** _____ **Division No.:** 00

Description Of Problem / Clarification / Information Required:

1. The specified manufacturer does not produce photopolymer signs. The specification document mentions "Photopolymer face sheet with raised graphics laminated to acrylic backing sheet to produce composite sheet," while plan sheet no G-410 states, "INTERIOR SIGNS SHALL BE MADE OF 1/4" VINYL PLATE, UON." Please advise on the appropriate material for interior signage.
2. Could you please clarify the scope for the monument sign in this project?
3. We noticed there are no details or markings for plaque signs, but the specifications mention a requirement for them. Could you please specify the scope for plaque signs?
4. Could you share the artwork for the exterior building sign? (Screenshot attached for reference.)

By: _____
Name _____ **email** _____
Phone Number: _____

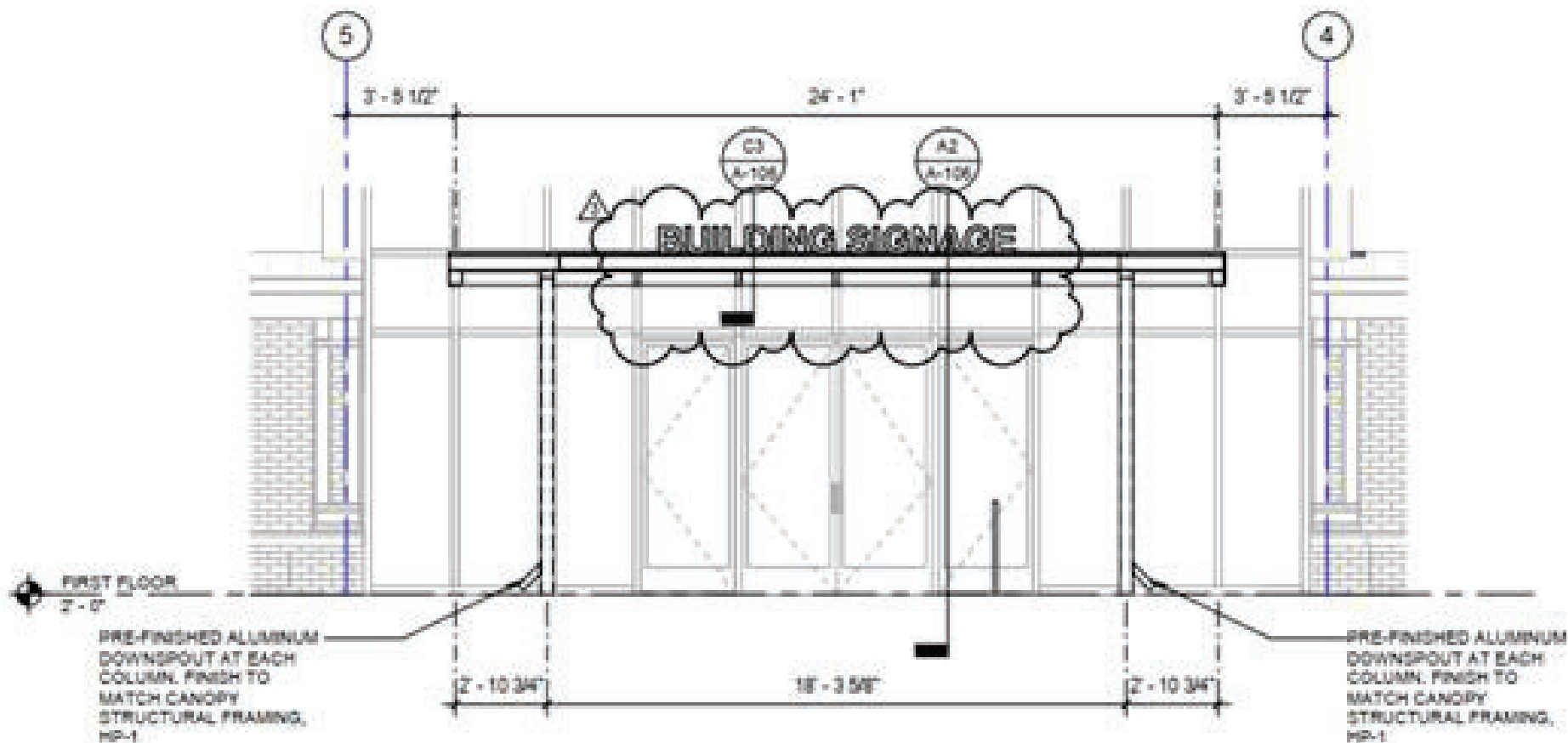
Response:

1. Revised list of manufacturer and detail on Sheet G-410 and will be include as part of Addendum #3.
2. Refer to Addenda #2 Signage Allowance scope of work.
3. Refer to Addenda #2 Signage Allowance scope of work.
4. Refer to Addenda #2 Signage Allowance scope of work.

Respondent: _____
Name _____ **Signature** _____

Firm: _____ **Title:** _____ **Date:** _____

Reviewed by: _____ **Date:** _____



A4 ENTRY CANOPY FRONT ELEVATION
 Scale: 1/4" = 1'-0"

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. RFI No.: RFBI-08-AMG-002
From: AMG & Associates Inc Date: 08/30/24
(Contractor's Name):
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Tile

Drawings: A-403 Specifications: _____ Division No.: 00

Description Of Problem / Clarification / Information Required:

Pg A-403 Detail A4 & Pg. A-401 Detail B4 are showing TT-1 being installed full height is this correct? TT-1 is a bullnose Tile & should typical only be installed in 1 row to terminate wall/base. Please Advise

Contractor's Proposed Solution:

By: _____
Name _____ email _____
Phone Number: _____

Response:

Tiles are not meant to be full-height at (2) details/ interior elevations mentioned above. Detail/ interior elevations will be revised as part of Addendum #3.

Respondent: Jimmy Ng _____
Name _____ Signature _____
Firm: Dewberry Architects Title: Project Architect Date: 09/03/24
Reviewed by: _____ Date: _____

Digitally signed by Jimmy Ng
DN: C=US, E=jng@dewberry.com, CN=Jimmy Ng
Date: 2024.09.03 10:19:40-07'00'

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. RFI No.: RFBI-09-CSI-001
From: CENCAL Services, Inc. Date: Sept. 3, 2024
(Contractor's Name):
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Demolition scope

Drawings: _____ Specifications: 02 41 01 Division No.: 02

Description Of Problem / Clarification / Information Required:

Please see note is the Abatement / demo apart of this proposal? Please see note is the Abatement/demo apart of this proposal? General Demo note. The Demo of the existing Sr. center, parking lots, pavement sections both those exposed and those potentially buried, removal and capping of utility connections to the existing property, underground basements, walls, landscaping and all support appurtenances are not included with the scope of the these project design documents. On-site demolition work is anticipated to be developed by City of Fowler forces, under separate package.

By: _____
Name _____ email _____
Phone Number: _____

Response:

The Abatement and demolition for both on-site and off-site is included in the scope of work for this contract.

The General Conditions Specifications Package includes additional DIV 02 sections where City Staff, not the design consultant, prepared the on-site demolition scope. Please review section 02 41 00 - On-Site Demolition and Appendix C -On-site Demolition Plans of the General Conditions Specification Package.

Respondent: Soo Ho Park
Name _____ Signature _____
Firm: City of Fowler Title: Contract City Engineer Date: 9/3/2024
Reviewed by: _____ Date: _____

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-10-SC-005
From: Seals Construction, Inc. **Date:** 9/3/24
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Wall Type at Rm 111 / 113 along GL D.6

Drawings: A-113 / S-201 **Specifications:** _____ **Division No.:** 04

Description Of Problem / Clarification / Information Required:

Per Sheet A-113, there is a CMU wall (Type M8F20SU) shown between Rooms 111 and 113 along Grid Line D.6.

On Sheet S-201, this wall is not shown and there is no footing here.
Please advise.

Contractor's Proposed Solution:

By: Nick Seals nick.seals@sealsconstruction.com
Name **email**
Phone Number: _____
email

Response:

There should be an 8" CMU wall as shown in A-113 with a WF2.0 footing.

Respondent: RRM _____
Name **Signature**
Firm: Crosby Group **Title:** _____ **Date:** 09/04/2024
Reviewed by: _____ **Date:** _____

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-11-SC-007
From: Seals Construction, Inc. **Date:** 9/3/24
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Brick Veneer Anchoring System

Drawings: _____ **Specifications:** _____ **Division No.:** 04

Description Of Problem / Clarification / Information Required:

The plans and specifications refer to Ladder Lock Loop embed wire type anchoring system. This works only if the brick lay to 4". Modular brick lay to 2-3/4", every third course we will gain 1/4" per block. That equates to 1/2" gain every two CMU courses. Please advise if Channel Tee Seismic Notch Anchor System / Flemming Anchoring system is acceptable in lieu of Ladder Lock Loop system as it's more versatile and works with all sizes.

Contractor's Proposed Solution:

By: Nick Seals nick.seals@sealsconstruction.com
Name **email**
Phone Number: _____

Response:

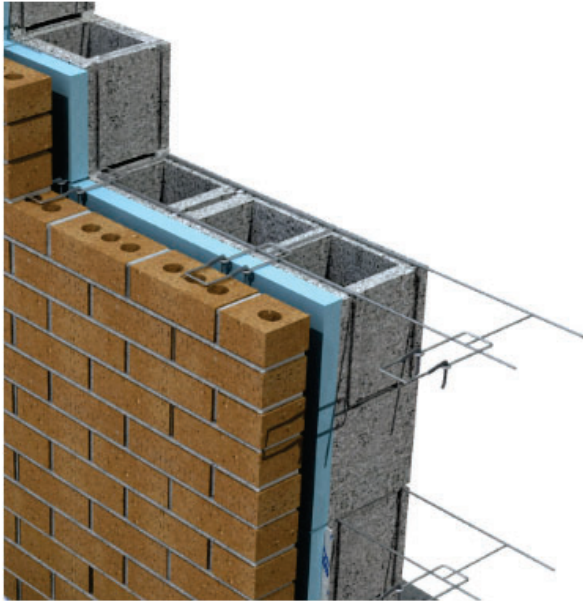
The Fleming Anchor and the H-B Channel-Tee Seismic-Notch Anchor appear to be for use with a metal stud back-up and not CMU. All brick has CMU back-up on this project. Modular brick is 3 courses per 8", so the modular brick aligns with the CMU joint. See chart on next page. Joints are not a true 3/8" joint. Modular brick (2 1/4" tall) has been used with eye and pintle type horizontal reinforcing for decades. See following pages for images of the Ladder Eye system and alignment, as well as a coursing chart, and images of the Channel Tee.

Respondent: Kevin Palmby 
Name **Signature**

Firm: Dewberry **Title:** _____ **Date:** 9/4/24

Reviewed by: _____ **Date:** _____

270-2X LADDER EYE-WIRE REINFORCEMENT



DOCUMENTS & DOWNLOADS



Submittal Sheets

PDF Downloads



270-2X-LADDER-EYEWIRE



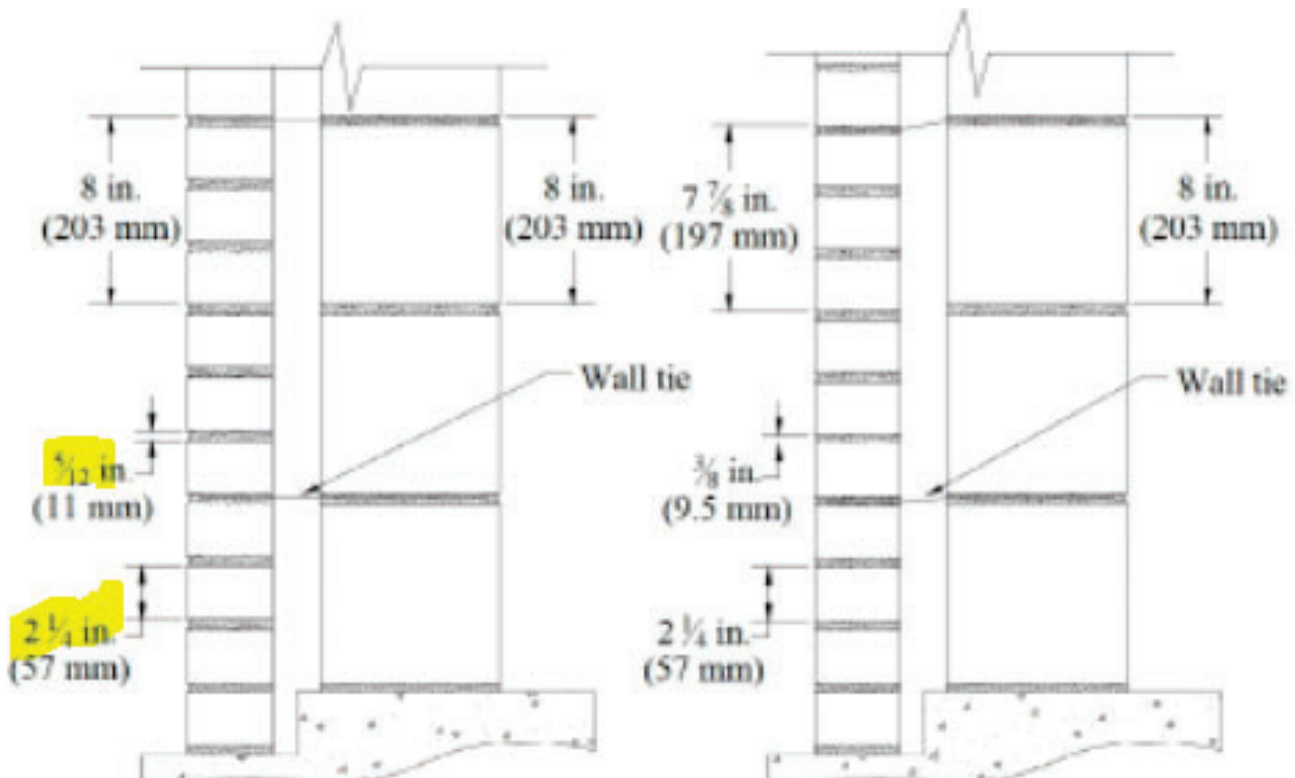
LEED

PDF Downloads

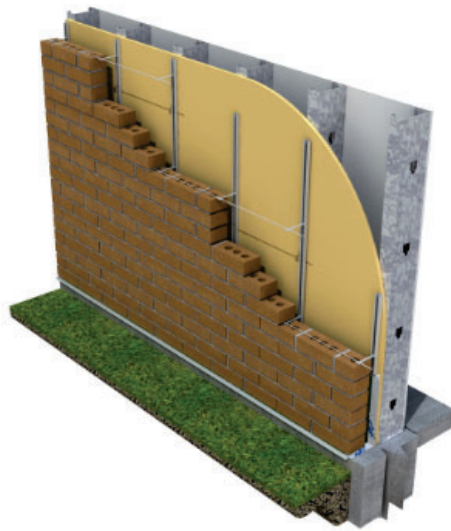


LEED 270

The most common modular brick heights are 2-1/4", 3-5/8", and 7-5/8". The brick that everyone is familiar with is 2-1/4" plus 3/8" mortar joint and three bricks and three mortar joints equals 8". Actually it adds up to 7-7/8", but either the mason makes up the 1/8" difference or the bricks are actually slightly larger. In either event you don't have to worry about it - it always works out to 8". The typical lengths are 8", 12" and 16". The usual width is 3-5/8".



CHANNEL-TEE™ SEISMIC-NOTCH ANCHOR SYSTEM



DOCUMENTS & DOWNLOADS



Submittal Sheets

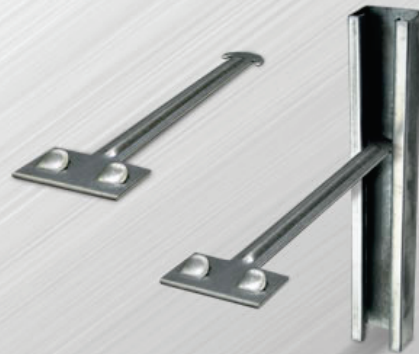
PDF Downloads



SUBMITTAL-CHANNEL-TEE

HFA Fleming Anchor System

- Provides both transverse and longitudinal resistance
- Accommodates a wide range of cavity widths
- Effortless installation



REQUEST FOR BIDDERS INFORMATION



To: Vanir Construction Management, Inc. RFI No.: RFBI-12-QG-002
From: Quiring General, LLC Date: 9/03/2024
(Contractor's Name):
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Wall Footing at Lieutenant's Offices

Drawings: S-210, S-320 Specifications: _____ Division No.: 02

Description Of Problem / Clarification / Information Required:

Plan sheet S-210 shows a gap in the WF3.5 at the location of the lieutenant's offices. Detail 7/S-320 shows a footing in this location.

Contractor's Proposed Solution:

Provide the footing per detail 7.

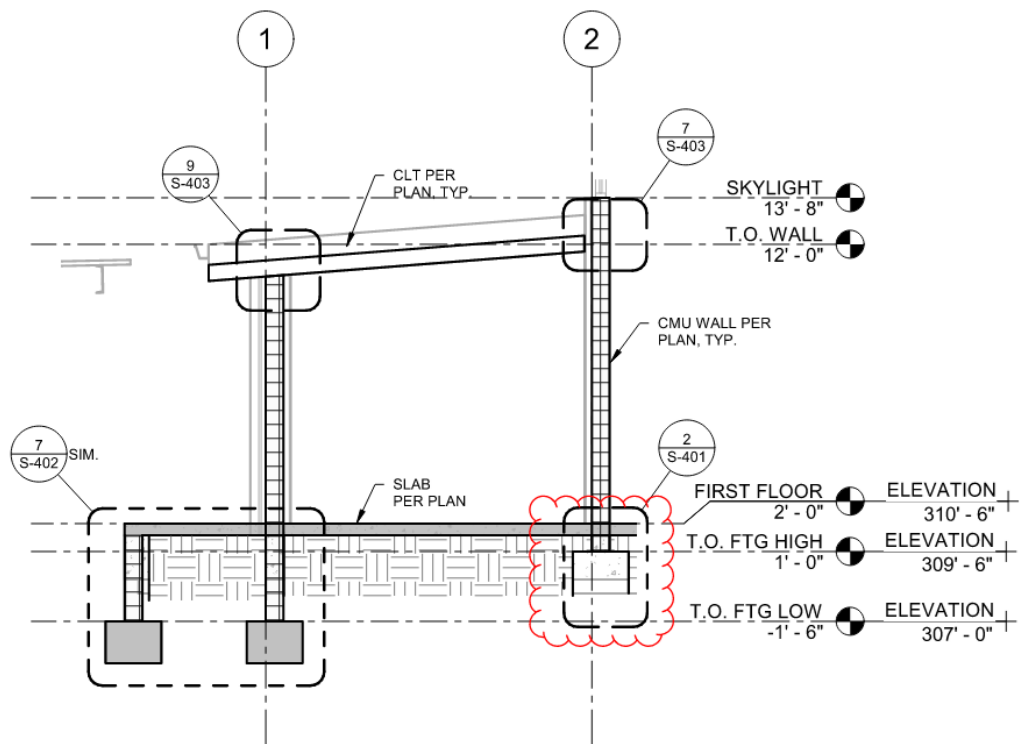
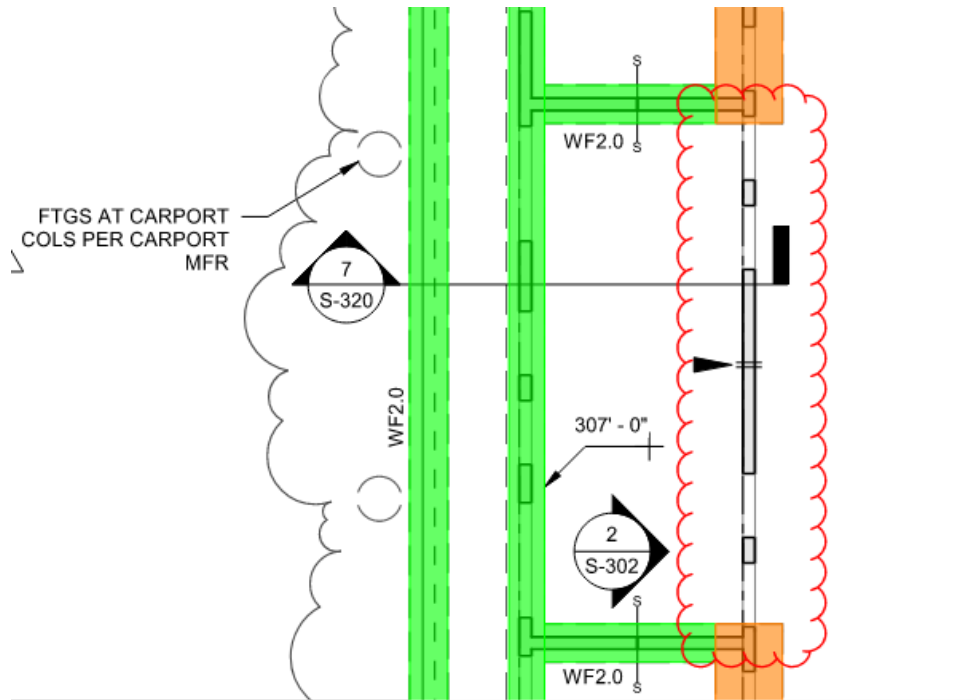
By: Garrett Vermeltoort gv@quiring.com
Name email
Phone Number: (559) 892-8887

Response:

The gap between footings should not occur. Footing at that location should run continuous as a WF3.5.

Respondent: RRM
Name Signature
Firm: Crosby Gorup Title: _____ Date: 09/04/2024
Reviewed by: _____ Date: _____





⑦ SECTION AT LIEUTENANT
1/4" = 1'-0"

REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. RFI No.: RFBI-13-QG-003
From: Quiring General, LLC Date: 9/03/2024
(Contractor's Name):
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Concrete Wall at Planters

Drawings: S-210, S-320 Specifications: _____ Division No.: 02

Description Of Problem / Clarification / Information Required:

Plan sheet S-210 shows a "6" or 8" thick conc. wall typ. all planters. Detail 7/S-320 does not show the wall. Please advise if there should be a wall at that location per the plan or not per the detail. Please advise if the wall is to be 6" or 8" thick.

Contractor's Proposed Solution:

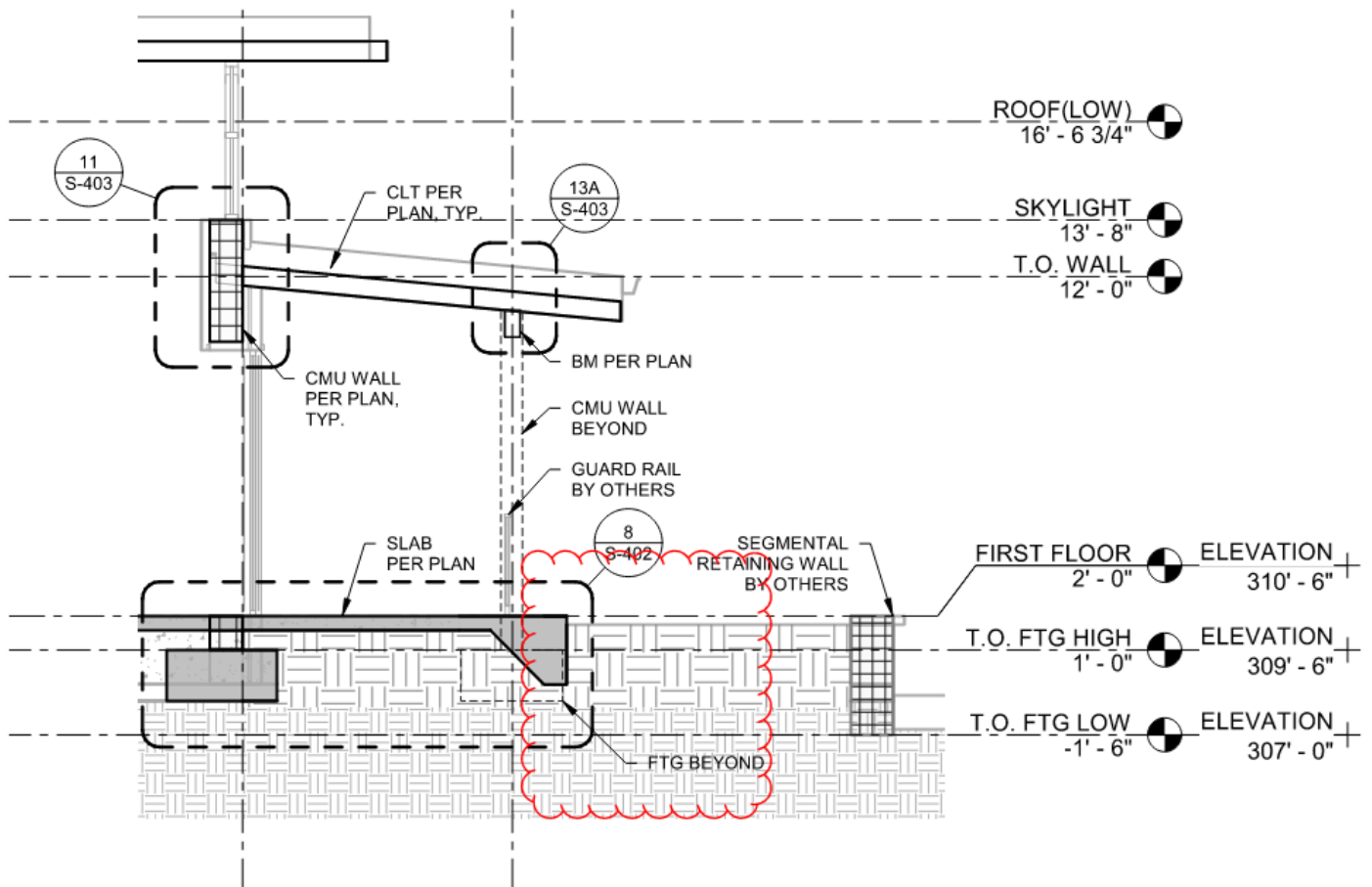
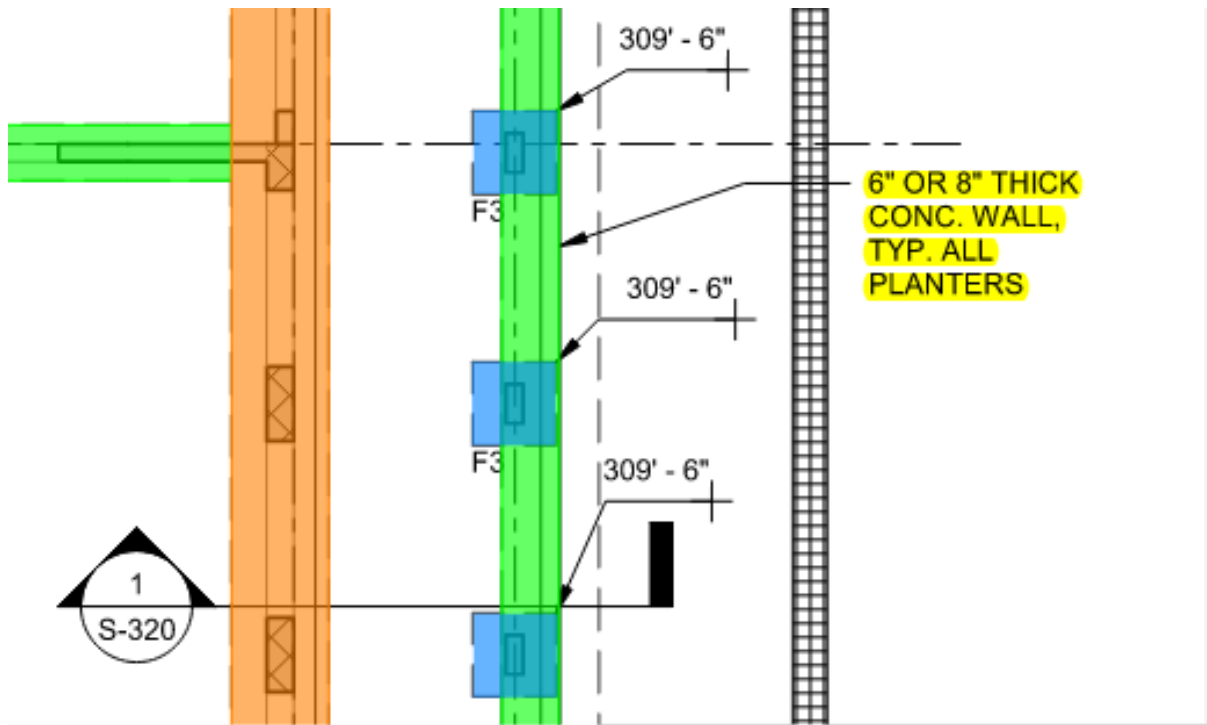
Provide a 6" wall per the plan

By: Garrett Vermeltoort gv@quiring.com
Name _____ email _____
Phone Number: (559) 892-8887

Response:

See attached SK-1 for clarification.

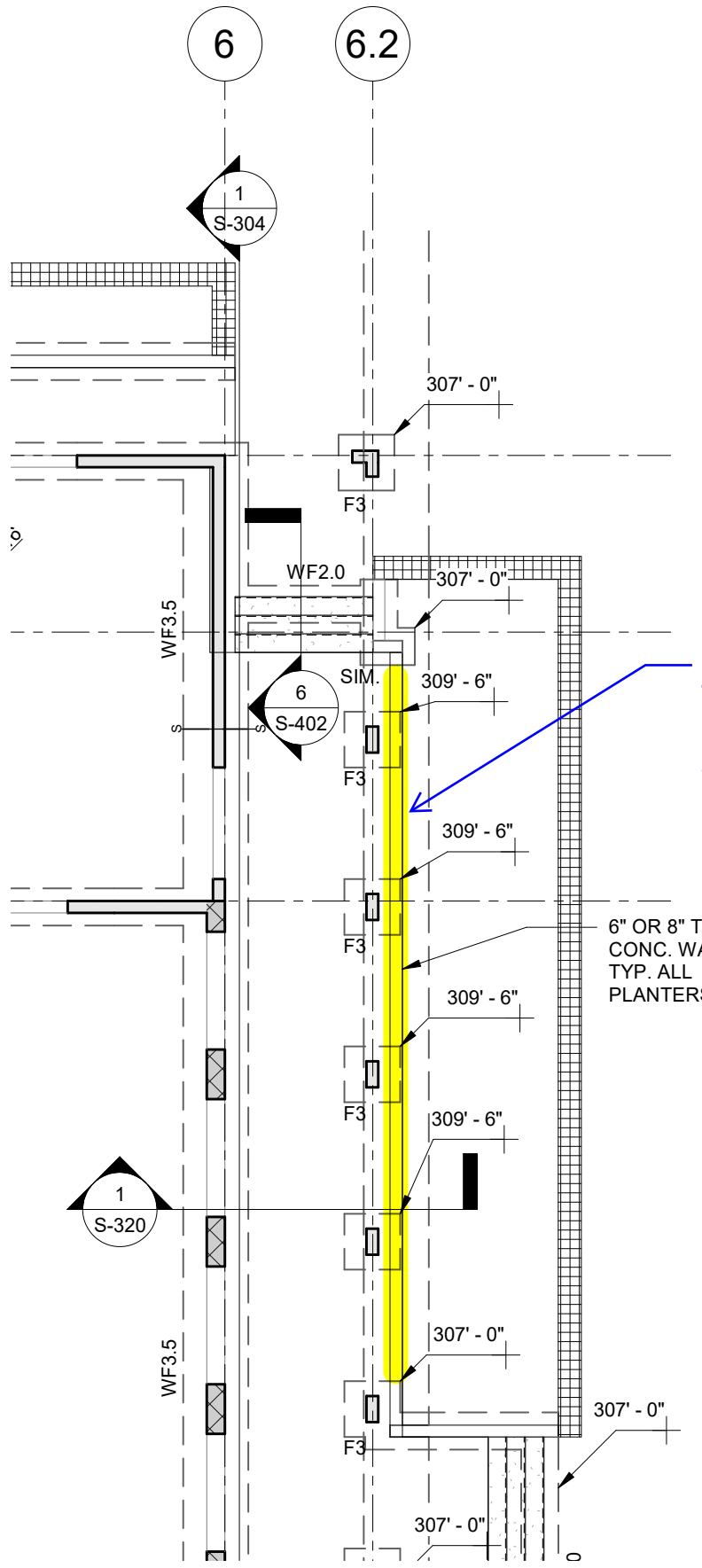
Respondent: RRM _____
Name _____ Signature _____
Firm: Crosby Group Title: _____ Date: 09/04/2024
Reviewed by: _____ Date: _____



① SECTION AT COVERED PORCH
1/4" = 1'-0"



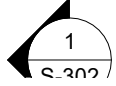
Project:	Job No.:	
Description:	Date:	Sht:
	By:	Ck:



SK-1

NO PLANTER WALL
REQUIRED AT THIS
HIGHLIGHTED
PORTION. INSTEAD,
THICKENED EDGE
PER 8/S-402 IS
ACCEPTABLE - CG

6" OR 8" THICK
CONC. WALL,
TYP. ALL
PLANTERS



REQUEST FOR BIDDERS INFORMATION

To: Vanir Construction Management, Inc. **RFI No.:** RFBI-14-QG-006
From: Quiring General, LLC **Date:** 9/03/2024
(Contractor's Name): _____
Project: David T. Cardenas Senior Center & Police Headquarters
Subject: Tile

Drawings: A115 **Specifications:** _____ **Division No.:** 09

Description Of Problem / Clarification / Information Required:

Could you please confirm if there are any mortar bed requirements for restrooms 126 to 129, Women's room 153, Men's room 154, and Kitchen 155, or is floor floating sufficient? Please confirm.

Contractor's Proposed Solution:

By: Garrett Vermeltoort gv@quiring.com
Name **email**
Phone Number: (559) 892-8887

Response:

- Restroom 126 - 129. Floor floating is sufficient
- Restroom 153 & 154. Floor floating is sufficient and slab at these two restrooms no longer depressed. Ref to Sheet A-116
- Kitchen 155. Thick set mortar bed at depressed slab is required to create sloped floor.

Respondent: Jimmy Ng Jimmy Ng
Name **Signature**
Digitally signed by Jimmy Ng
DN: C=US, E=jng@dewberry.com, CN=Jimmy Ng
Date: 2024.09.04 15:11:30-07'00'

Firm: Dewberry Architects **Title:** Project Architect **Date:** 09/04/24

Reviewed by: _____ **Date:** _____