



**PAUL HALAJIAN
ARCHITECTS**

ADDENDUM

PROJECT: **Clovis Landmark Square
Senior Activity Center and Transit Center**

ADDRESS: 735 Third Street & 785 Third Street
Clovis, CA 93612

OWNER: **City of Clovis**
1033 Fifth Street
Clovis, CA 93612

ADDENDUM#: **03**

PUBLISHED DATE: November 6, 2020

PHA JOB NO.: 2016-39

CITY JOB NO.: CIP 15-03

*The following additions, deletions and revisions to the plans, specifications and addenda shall become a part of the Contract Documents. It is the responsibility of the Contractor to submit the information contained in this addendum to all bidders. Each bidder shall acknowledge receipt of this Addendum in their respective Bid Proposals. (Addendum number of pages: **20** pages and **11** attachments = **31** total pages.)*

SUBMISSION DATES

Item 03-01

Reference: **DIVISION 00: NOTICE INVITING BIDS**

- a. PAGE iii: BID OPENING DATE TO BE EXTENDED
 - i. Bids must be filed prior to **2:00 p.m. Pacific Time, Friday, November 13, 2020**, at which time the City clerk will open bids.
 - ii. All other dates and bid requirements to remain.

PROJECT MANUAL

Item 03-02

Reference: **SECTION 06 20 13 — EXTERIOR FINISH CARPENTRY.**

- a. **RFI Question:** Please provide the size of the vertical siding (1x6 or 1x8). Please provide the size of trims that will be required at door, window, inside corners, outside corners. The Exterior Elevations, Details and Specification Section 06 20 13 don't specify sizes of the various members. Specifications Section 06 20 13 calls for trims, but the details don't show any. Please clarify which sizes and types of siding and trims are required and provide details reflecting the sizes and types of siding and trims to be used.
- b. **RFI Response:**
 - i. Refer to Part 2.2: Profile of Vertical Siding to be 1x8" width, T&G.
 - ii. Trims around doors, windows and building corners are indicated on details (i.e. galvanized metal and flashing).

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Item 03-03

Reference: SECTION 07 21 00 — THERMAL INSULATION

- a. It is acceptable to provide polyisocyanurate rigid insulation board:
 - i. Polyisocyanurate Board Insulation, Glass-Fiber-Mat Faced ASTM C1289, glass-fiber-mat faced, Type II, Class 2.
 - ii. Fire Propagation Characteristics: Passes NFPA 285 testing as part of an approved assembly.
 - iii. Labeling: Provide identification of mark indicating R-value of each piece of insulation 12 inches and wider in width.

Item 03-04

Reference: SECTION 07 54 19 — POLYVINYL-CHLORIDE (PVC) ROOFING.

- b. Refer to Part 2.2.A.1: Omit Sikaplan Mechanically Attached Roofing and replace with Sikaplan Adhered (G410) 60 mil. Roofing system.
- c. Refer to Part 2.5.A. Omit Extruded Polystyrene insulation and replace with Polyisocyanurate insulation.
- d. Refer to Part 2.7.C. Cover board Basis of design to be DensDeck Prime, 1/4" thick.

Item 03-05

**Reference: SECTION 08 14 16 — FLUSH WOOD DOORS.
ADDENDUM 02 – ITEM 02-05**

- a. **RFI Question:** We are being informed by architectural door manufacturers that they do not work with Cedar as a veneer They are saying that it is too soft a wood to be used in their manufacturing process. Is there an alternate that the owner would accept?
- b. **RFI Response:** Refer to Part 2.3.A.2: Species to be White Maple. Stain to match adjacent wood paneling.

Item 03-06

Reference: SECTION 08 51 13 — ALUMINUM WINDOWS.

- a. Omit this Specification Section.

Item 03-07

Reference: SECTION 08 83 30 — MIRRORS.

- a. **RFI Question:** Spec 088300 – Mirrors: Please verify that safety backer will be acceptable in lieu of tempered mirrors.
- b. **RFI Response:** Contractor may provide Mirrors with Safety Backing, in lieu of tempering.

Item 03-08

Reference: SECTION 09 29 00 — GYPSUM BOARD.

- a. **RFI Question:** On finish schedule A720 and A721 multiple rooms call for a W-28 " Impact Resistant Gypsum Board." There is no mention of impact resistant gypsum board in specification section 092900. Please provide a desired product and manufacturer for impact resistant gypsum board as noted in finish schedule and legend. Please also provide the required height of which impact resistant gypsum board is to be installed.

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- b. **RFI Response:**
- i. Impact Resistant Gypsum board noted as “W-23” on the Finish Schedule to be classified as “Abuse Resistant” and installed to 8’-0” above finished floor.
 - ii. Add following text to Specification 09 29 00 Part 2.3.B:
3. Abuse Resistant Type:
 - a. Products:
 - 1) CertainTeed Corporation; Extreme Abuse Resistant Drywall
 - 2) National Gypsum Company; Gold Bond Hi-Abuse XP Gypsum Board
 - 3) Manufacturers of equivalent design
 - b. Core: 5/8 inch.
 - c. Long Edges: Tapered.
- c. **RFI Question:** In spec section 092900, item 3.2.F states to cover both faces of support framing with gypsum panels above ceilings, except in chases braced internally. Detail 16 on A906 shows gypsum board stopping min. 6" above T-Bar ceiling. Please confirm or clarify if gypsum board will be required to be installed full height to underside of roof structure at all walls and soffits per 092900 items 3.2.F. Please also confirm gypsum board will be required to be installed above hard lid gypsum board ceilings and soffits in concealed attic spaces/s.
- d. **RFI Response:** Provide Gypsum board on both sides of full height walls. If there is a soffit, gypsum board to be on one face of wall and one face of soffit to allow of one face of gypsum board on each side of wall assembly.

Item 03-09

Reference: SECTION 09 67 23 — RESINOUS FLOORING.

- a. **RFI Question:** The Resinous Flooring Spec and Finish Flooring Plans are unclear regarding the extents and conditions of the application. For example, the spec calls for two textures of Aggregate 2.1/C/7, Kitchen and Everywhere else, but General Note A on A720 calls for Restrooms and Kitchens to have a similar” smooth...slip resistant surface.”
 - i. The Kitchen and Surrounding rooms have been tagged as FL-15 Safety Flooring. While the restrooms are tagged as FL-6/FL-12. Please clarify the application for the resinous flooring.
- b. **RFI Response:** Resinous Flooring only to be in Toilet Rooms per Finish Schedule, Omit Part 2.1.C.7.b. Areas indicated to have resinous flooring are to include a 6” integral cove base of the same material with a metal edge at the top of the cove.

Item 03-10

Reference: SECTION 09 65 16 — RESILIENT SHEET FLOORING.

- a. **RFI Question:** We have Resilient flooring FL14 in many places in senior center, the only information we have in the specification this material from Patcraft but without any other information, we need know what the collection or style name for this resilient?
- b. **RFI Response:** Resilient Floor FL14 basis-of-design to be Patcraft Organic Hue, Style Number 1320V.

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DRAWINGS

Item 03-11

Reference: SHEET 7 THROUGH 11 – ON-SITE IMPROVEMENT PLANS.

- a. **RFI Question:** I am having a hard time reading the Grading Plans/Paving plans on the 'city of clovis, planning and development plans'. Where can Contractors access a clean/Original PDF copy of these plans to assist in accurate take off's?
- b. **RFI Response:** Refer to non-scanned grading & paving plans (Sheets 7-11) attached within this addendum for clearer resolution for Bidding Purposes only.

Item 03-12

Reference: A501 – SENIOR CENTER – ROOF OPENING/TOWER PLAN AND WINDOW SCHEDULE.

- a. **RFI Question:** Page A501, frame "RO": Please confirm glass type is "IG."
- b. **RFI Response:** Refer to Window Type 'RO'. Glazing Type to be 'IG'.

Item 03-13

Reference: AD3-A701 – SENIOR CENTER – PAINT COLOR FLOOR PLAN.

- a. Add sheet **AD3-A701, Senior Center – Paint Color Floor Plan.**

Item 03-14

Reference: AD3-A711 – TRANSIT CENTER – PAINT COLOR FLOOR PLAN.

- a. Add sheet **AD3-A711, Transit Center – Paint Color Floor Plan.**

Item 03-15

Reference: A721 – INTERIOR FLOOR PLAN CODES AND PATTERNS.

- a. Refer to Material & Finish Codes:
 - i. Replace "W-36" and replace with "W-36A, W-36B, W-36C, W-36D, W-36E, W-36F".

Item 03-16

Reference: A730 – DOOR SCHEDULE.

- a. **RFI Question:**
 - i. Door 108A lists hdw. #122. Hdw. spec indicates hdw. #103. Confirm 103 is correct.
 - ii. Doors 112A & 114A lists a "N" door type and no glass type. Please confirm door/glass type.
 - iii. Door 113A lists "F" door and "TG" glass type. Please confirm glass is not required.
 - iv. Exterior Doors 151B & 151C "ASF" frame type and finish and "F" door type & wood. Please confirm door type, door material, & detail callouts.
 - v. Doors 219A, 220A and 221A are exterior doors. They are shown on the door schedule as wood doors in a HM frame. We are unable to provide a warranty a wood door used at an exterior location. Please clarify.
 - vi. Door 219A is a pair of exterior doors at the utility close. It is assigned to hardware group 06. Hardware group 6 is hardware for a single door. Please clarify.
- b. **RFI Response:**
 - i. Refer to Door 108A. Door Hardware Group to be changed to #103.
 - ii. Refer to Door 108B. Door Hardware Group to be changed to #122

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- iii. Refer to Doors 112A and 114A. Door Type to be "F".
- iv. Refer to Door 113A. Omit reference for Glazing Type TG.
- v. Refer to Door 149A. Door details to be 14/A901.
- vi. Refer to Doors 151B and 151C. Doors to be ASF, Door Type "FG".
- vii. Refer to Door 209A. Door to be Hollow Metal, Door Type "N".
- viii. Refer to Door 219A. Door Hardware Group to be "8".
- ix. Refer to Doors 219A, 220A, 221A. Doors to be Hollow Metal.

Item 03-17

Reference: A740 – SENIOR CENTER - WINDOW SCHEDULE.

- a. **RFI Question:** Spec 088000 – Glazing: Please provide a spec for type "TGT" glass located in AJ & AU frames.
- b. **RFI Response:** Refer to Storefront AJ and AU. Glazing indicated as 'TGT' to be Glazing Type G with a one-way window film applied.

Item 03-18

Reference: A800 SHEETS – INTERIOR ELEVATIONS.

- a. **RFI Question:** Various Keynotes on Interior Elevations – Sheets A800 – A812 include reference to "See finish Schedule sheet A731." There is no Plan Sheet A731. Please clarify.
- b. **RFI Response:** Keynote references for Finish Schedule to indicate Sheet A720.

Item 03-19

Reference: A900 SHEETS – DETAILS.

- a. At locations of exterior galvanized trim at doors and windows, attach with minimum #10x2" galvanized anti-theft wood screws and washers at 16" o.c. min, equally spaced.
- b. **RFI Question:** On pages A906-A909 (And Sim.) multiple details show "Glass-mat sheathing" being installed over plywood sheathing over wood framed walls. Wall details noted on A903 do not show Glass-mat sheathing. Gypsum board specification 092900 does not list any criteria for glass mat sheathing product or installation requirements. On section view A400 detail 1, exterior wall just south of SB gridline has two detail call outs. Top of wall detail 27 on A907 shows glass-mat sheathing. However, bottom of wall detail 6 on A903, does not call for glass-mat sheathing. Please clarify if glass mat sheathing as shown on details A907 (And Sim.) required on this project? If so, please provide the required locations and specification requirements.
- c. **RFI Response:** Refer to all Exterior Wall Details: Omit references to Glass-Mat Sheathing. Glass-Mat Sheathing not required on exterior walls.
- d. **RFI Question:** Detail 8 and 14 on Sheet A903 shows a 3/8" gap between the vertical planks. Type 1 and Type 2 products are only available in T&G or Shiplap.
- e. **RFI Response:** Refer to Exterior Wall Details— Omit reference for gap between panels of vertical wood siding, T&G.

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Item 03-20

Reference: AD3-S220 SHEETS – BUS CANOPY.

- a. **RFI Question:** Plan Sheet A220 shows the Bus Canopy Plan, Details and Sections. Detail 1/A220 indicates Glu-Lam Column, see Structural. HSS Column, See Structural. Structural Plans do not show anything for the Bus/Shade Canopy.
 - i. Please provide Foundation Plan showing Footing Sizes, HSS Column / GLB Column sizes and details.
 - ii. Please provide Roof Framing Plan showing Beam/Fascia/Roof framing sizes and details.
- b. **RFI Response:** Refer to added sheet **AD3-S220, Bus Canopy - Plans and Details** for Bus canopy information. Refer to Sheet A220 for information on roofing, gutters, scuppers, downspouts, etc.

Item 03-21

Reference: AD2-S505 – ROOF FRAMING DETAILS.

- a. Omit sheet **AD2-S505, Roof Framing Details** and replace with **AD3-S505, Roof Framing Details** attached. The following changes have been made:
 - i. Revised bolts at beams to All-Thread rods with heavy-hex nuts.

Item 03-22

Reference: AD1-S509 – ROOF FRAMING DETAILS.

- a. Omit sheet **AD1-S509, Roof Framing Details** and replace with **AD3-S509, Roof Framing Details** attached. The following changes have been made:
 - i. See detail 8/S509 – Revised Plan View detail so it is fully shown.
 - ii. See detail 9/S509 – Revised spacing of All-Thread rods to beams.
 - iii. See detail 10/S509 – Revised spacing of All-Thread rods to beams.

Item 03-23

Reference: AD2-S603 – BEAM DETAILS.

- a. Omit sheet **AD2-S603, Beam Details** and replace with **AD3-S603, Beam Details** attached. The following changes have been made:
 - i. See detail 6/S603 – Revised detail. This is the typical fascia corner condition.

Item 03-24

Reference: M101 – DETAILS.

- a. Refer to Detail F/M101; Basis of Design for expansion tank to be Amtrol AX-40 or approved equal.

Item 03-25

Reference: M201 – HVAC / EMS PLAN.

- b. The pipes serving P-2 to be 2-1/2", in lieu of 1-1/2"

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CLARIFICATION

Item 03-26

Reference: NORTHEAST PORTION OF PARKING LOT.

a. RFI Question:

- i. 'City of Clovis, Planning and development department; Grading Plan north (Sheet no. 7 of 24)' designates the carpark and Future Fresno County Library as 'Rough Grade only', however sheet AD1-F100 shows fire line going to the new library. Please confirm if we are to include for this. If not, please confirm how and where we are to terminate the scope in this area.
- ii. 'City of Clovis, Planning and development department; Grading Plan north (Sheet no. 7 of 24)' designates the carpark and Future Fresno County Library as 'Rough Grade only', however sheet AD1-E101 Shows a pullbox and Lighting/cabling in these areas. Please confirm if we are to include for this. If not, please confirm how and where we are to terminate the electrical scope in this area.
- iii. Regarding the 'City of Clovis, Planning and development department; Grading Plan north (Sheet no. 7 of 24)', this sheet designates the carpark and Future Fresno County Library as 'Rough Grade only', however sheet AD1-A100 states that this area is not part of this contract. Please clarify if we are to rough grade/demo in the locations of both the future library and the future car park.

b. RFI Response:

- i. Refer to All Site Plans: Scope for this portion of the site as follows:
 1. Improvements on the "Future Parking Area" on the north portion of the parking field shall include the following: all underground improvements, demolition, clearing & grubbing and rough grading as specified in the construction drawings and specifications. It shall exclude pavement section (AC & aggregate base), valley gutter, curb, landscaping, landscaping irrigation system, light poles & foundations and all other surface improvements.

Item 03-27

Reference: ROOM 100 – TENANT SPACE.

- a. **RFI Question:** Per elevation 1 on A400 Tenant Room 100 shows drywall at west elevation. This room also has a CMU wall at the south elevation and fire rated wall on the east elevation. Per finish schedule on A720, all finishes are noted as N/A in room 100. In order to complete fire rating at wood framed east wall, drywall will be required along with appropriate fire stopping materials. Please clarify if Room 100 is to receive drywall on any walls including CMU. If so, please clarify what type of finish will be required at these locations.

b. RFI Response:

- i. Tenant Space scope to be a cold shell only. No wall/ceiling insulation or wall/ceiling/flooring finishes.

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- ii. Only wall finish to be provided is (1) layer of 5/8" Type X Gypsum board and related fire rated protection on Tenant Space side of framing adjacent to room 101, 102, 103, 105.

Item 03-28

Reference: A230 FURNITURE PLAN – FOR REFERENCE ONLY.

- a. Refer to Sheet A230. The Furniture Plan is for Occupancy Reference only. Contractor not to provide furniture.

Item 03-29

Reference: A720 – FINISH SCHEDULE.

- a. **RFI Question:** The Resinous Flooring Spec and Finish Flooring Plans are unclear regarding the extents and conditions of the application. For example, the spec calls for two textures of Aggregate 2.1/C/7, Kitchen and Everywhere else, but General Note A on A720 calls for Restrooms and Kitchens to have a similar" smooth...slip resistant surface." The Kitchen and Surrounding rooms have been tagged as FL-15 Safety Flooring. While the restrooms are tagged as FL-6/FL-12. The same note also calls for a 6" Cove Base at those rooms but the Finish Schedule only notes room 142 as receiving the W-48 Epoxy Cove Base.
- b. **RFI Response:** Resinous floors are to be in Toilet Rooms only with a 6" resinous cove base per Sheet A700 Senior Center - Interior Finish Plan and A720 Finish Schedule. Refer to Room 142 Custodian. Revise Base designation to "W-52"

Item 03-30

Reference: AD2-E101 ELECTRICAL SITE PLAN.

- a. **RFI Question:** Reference sheet AD1-E101 keynote #41. Please clarify that we are not installing the (4) S4 light poles in the darkened area. Please clarify that we are only to stub conduit out to future light pole locations.
- b. **RFI Response:** Refer to Item 03-26

Item 03-31

Reference: AD1-E201 SENIOR CENTER LIGHTING PLAN.

- a. **RFI Question:** In the upper left corner of the drawing, it shows G5 fixtures on the outside of room 100 (tenant space). There is no G5 fixture on the schedule, please advise.
- b. **RFI Response:** G5 fixture information included within Addendum 2.

Item 03-32

Reference: ELECTRICAL POWER DETAILS.

- a. **RFI Question:** Detail #6 on sheet E023 indicates that we are to pour 3-sack slurry at paved areas and 3000 psi concrete encasement at landscaped areas. Is it the intent of the city to have concrete in all electrical trenches even though most of the underground conduit will be under parking lot asphalt or under building slabs? This is a significant cost impact to the electrical scope.
- b. **RFI Response:** Provide 3-sack slurry, 3" min. encasement, at all underground conduits not covered by buildings.

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Item 03-33

Reference: OWNER PROVIDED FURNITURE.

- a. **RFI Question:** Plan A210 calls out note 8 (furnished by owner) in open office 202, however interior elevation 11/A810 calls out note 13 which is casework for the desks. Which is correct?
- b. **RFI Response:** Both keynotes are correct. Refer to Drawings A200 and A210: Project scope includes the construction of the reception desk casework at both buildings. Owner to provide the desk “cubicles” behind the low partition walls behind the reception desks. (4 cubicles at Senior Activity Center, 2 cubicles at Transit Center)

Item 03-34

Reference: EXTERIOR EXPOSED STEEL.

- a. All exposed steel fasteners, plates, connectors, flashings to be galvanized.
- b. Structural steel framing for mechanical screens to be galvanized.
- c. Underside of steel deck to be galvanized.

Item 03-35

Reference: SLIDING AUTOMATIC ENTRANCES.

- a. **RFI Question:** Please provide 084229 Sliding Automatic Entrances Spec.
- b. **RFI Response:** Section included within Addendum 2, Item 2-06.

Item 03-36

Reference: SUSPENDED PARTITION PANEL.

- a. **RFI Question:** Please provide specs for the Suspended Partition resin panel and hardware (3FORM), which includes panel style, type, & finish.
- b. **RFI Response:** Clarification for panel included within Addendum 2, Item 2-19.

Item 03-37

Reference: ALUMINUM-FRAMED ENTRANCES AND STOREFRONT.

- a. **RFI Question:** Please verify stamped calcs are not required for the storefront.
- b. **RFI Response:** Stamped calculations are not required for this project.

Item 03-38

Reference: STC AND ACOUSTICAL BARRIERS.

- a. **RFI Question:** In specification section 092900 item 2.1.B notes STC Rated Assemblies. In same section item 2.3.B.4 notes Acoustically Enhanced Type Gypsum Board. Item 3.3.A.3 states to install Acoustically Enhanced Type gypsum board “where required for acoustic-rated assemblies.” There are no locations noted in spec section 092900 where STC or acoustically rated assemblies are required. Please provide location/s where STC and acoustically rated assemblies will be required.
- b. **RFI Response:** Enhanced STC Assemblies are not required within this project. Acoustically enhanced Gypsum Board is not required. Provide batt insulation between interior spaces per Section 07 21 00 Thermal Insulation Part 3.3 G.1.b.2. Locate insulation at toilet rooms, offices, meeting rooms, classroom/instructional areas, and framed wall at East side of Tenant Room 100.

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Item 03-39

Reference: ADDENDUM 01, ITEM 01-14.

- a. **RFI Question:** Addendum 01 – Item 01-14 indicates to remove material codes W-44 and W-45 from schedule on A721 and replace with W-57 and W-58 respectively.
 - i. Please confirm that this change only applies to the W-44 and W-45 codes under the Ceramic Tile heading on A721.
 - ii. Wall Protection heading codes W-44 and W-45 to remain (6" Rubber Base and 6" Rubber Base – Millwork Style, respectively) a part of the project.
 - iii. Please confirm, Finish Schedule – A720 – Base codes W-44 and W-45 are to reference Wall Protection codes W-44 and W-45 (6" Rubber Base and 6" Rubber Base – Millwork Style, respectively)
- b. **RFI Response:** Referencing the removal of W-44 and W-45 pertain to the Ceramic Tile portion of the Materials and Finish Codes only. W-44 and W-45 indicated under Wall protection still remains.

Item 03-40

Reference: GALVANIZED PLATES @ GLB POSTS.

- a. **RFI Question:** Refer to Detail 2/S701 - At the exterior over hang columns C5 – (3) 2-1/2" x 12' GLB Posts.
 - i. 3/4" Tapered Brace plates above are called out to be Galvanized.
 - ii. Galvanized threaded rod w/ heavy-hex nuts and malleable iron washers each end.
 - iii. Are the 3/4" Base Plates / Spacer Plate to be Galvanized as well?
 - iv. Detail 2/S502 – Are the 3/4" Cap / Bearing / Back Plate to be Galvanized as well?
- b. **RFI Response:** All exterior exposed steel to be galvanized.

Item 03-41

Reference: ENTRY CANOPY @ MP – SENIOR CENTER.

- a. **RFI Question:** Refer to Detail 2/S509 – Entry Canopy at the Multi-Purpose Room – Senior Center.
 - i. Please clarify if the Structural Steel framing of this canopy is to be Galvanized or just primed and painted.
- b. **RFI Response:** Exposed steel to be galvanized.

Item 03-42

Reference: MECHANICAL SCREEN FRAMING.

- a. **RFI Question:** Please clarify if the Structural Steel Framing for the Mechanical Screen Walls on both buildings, is to be Galvanized or if this is to be primed and painted.
- b. **RFI Response:** Structural steel framing to be galvanized.

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Item 03-43

Reference: ALTERNATE #7 — STOREFRONT FRAMES.

- a. **RFI Question:** Alternate #7 indicates to replace Interior Storefront Frames with Aluminum Frames (Spec Section 0812000). Will the Doors at these locations change to Wood Doors in lieu of Aluminum / Storefront Doors as well?
 - i. The following Openings are shown as Interior Aluminum/Storefront Doors & Frames: 109A, 115A, 117A, 119C, 120A, 122A, 123A, 129A, 131A, 151D, 204A, 205A, 206A, 207A, 208A, 210A & 210B.
 - ii. If Alternate #7 is selected by the Owner, please advise if these doors are to change to Wood Doors or remain Aluminum / Storefront Doors.
- b. **RFI Response:** Doors to remain per plan.

Item 03-44

Reference: VERTICAL BIKE STORAGE SPECIFICATION.

- a. **RFI Question:** Note 17/A200 refers to “long term vertical bike storage” – see specifications. Please provide a specification for this storage.
- b. **RFI Response:** Refer to Keynote 12 and 17 on Sheet AD1-A100.

Item 03-45

Reference: MISSING DETAIL.

- a. **RFI Question:** AD-1.1 pg 3 of 14 , Item 1-13 , A720 Finish Schedules section A. item 4 states- Where casework is indicated as CW-3 & CW-4 , cabinet shall be of a face-frame & inset door assembly. See detail 1/A913 and 26/A911. Detail 26/A911 is missing. Please provide a detail.
- b. **RFI Response:** Omit reference to detail 26/A911 and replace with reference to 2/AD1-13, included in Addendum 1, Item 01-33.

Item 03-46

Reference: METAL DECK.

- a. **RFI Question:** Please clarify if the metal deck is to be prime painted or typical 18ga and 20ga Galvanized G60 metal deck?
- b. **RFI Response:** Provide galvanized metal deck.

Item 03-47

Reference: AD1-A100 NOTE 21.

- a. **RFI Question:** Please reference sheet AD1-A100 note 21. Will the bid form be revised to breakout the \$100,000.00 allowance for relocation of the shade structure, or is it to be included in the base bid item #4?
- b. **RFI Response:** Omit Requirement for Allowance. Revise Keynote to state “Contractor to assume new footings for structure to be 3’ dia x 6’ deep with #4 rebar hoops at 10” vertically and #5 rebar vertically @ 12” o.c. Actual footing size and anchorage to be confirmed upon removal of structure.”

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Item 03-48

Reference: SUSPENDED WOOD CEILINGS.

- a. **RFI Question:** The Specification Section 095113 calls for T-bar grid used to suspend wood ceilings. Many details on these plans are not showing grid suspensions systems for plywood ceilings. Please clarify which ceilings will require grid. Please advise if Fabric Wall Panels are required, and if so, where are they located?
- b. **RFI Response:** The ceiling in the Multi-Purpose Room is a suspended grid with wood paneling. See RCP and details on sheet A905. Fabric wall panels are indicated on interior elevations (Dot hatch pattern on North and South walls of room 151).

Item 03-49

Reference: FABRIC WALL PANELS.

- a. **RFI Question:** Fabric wall panels are shown on the interior elevations of room 151. In the material and finish codes, there are no callouts for fabric wrapped wall panels. Only wood paneling is shown for this room. Please clarify where Fabric wrapped wall panels are supposed to be.
- b. **RFI Response:** Fabric wall panels are indicated on interior elevations (Dot hatch pattern on North and South walls of room 151).

Item 03-50

Reference: STRUCTURAL DETAIL CLARIFICATIONS.

- a. **RFI Question:**
 - i. Are Joists "J4" shown occurring on S300 to be "exposed" Alaskan Yellow Cedar Architectural Grade GLBs? Please advise.
 - ii. Are the "B10" GLBs shown occurring between Grid Lines 2 and 3 on S300 to be "exposed" Alaskan Yellow Cedar Architectural Grade GLBs? Please advise.
 - iii. Regarding the "B10" GLB shown occurring at Grid Line 5.4 on S300. It is unclear how long this beam needs to be. Is the intent for this beam to be approximately 26' in length or 53' in length? Please advise.
- a. **RFI Response:**
 - i. J4 beams are Doug-Fir.
 - ii. B10 beams are Doug-Fir.
 - iii. Beam length is approximately 26'.

Item 03-51

Reference: FLOOR FINISH CLARIFICATION.

- a. **RFI Question:**
 - i. In Senior Center, Main Entry 125, we have entryway carpet tiles, is this Carpet C in specification from interface?
 - ii. In Senior Center, Platform 152, the stage is LVT and the stairs are concrete, how will we stop the LVT at the stair to protect the edge of LVT, do we need use rubber stair nosing with contrast strip, please advise?

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b. RFI Response:

- i. Entryway carpet tiles are Carpet Type "C".
- ii. Platform 152 and adjacent stairs are indicated as LVT Type C per sheet A700. Stair nosing protection Basis of Design to be Futura Transitions by Bonnell Aluminum 401177.

Item 03-52

Reference: BID BOND CLARIFICATION.

a. RFI Question:

- i. Since there is no charge for a Bid Bond should we write N/A where it is asking, "The rate or premium of this bond is _____ per thousand, the total amount of premium charged, \$_____."
- ii. We also are not usually issued a Bid Bond Number; would it be ok to write N/A in this space as well?

b. RFI Response:

- i. N/A is acceptable for the sections in question.

Item 03-53

Reference: AWARD DATE.

a. RFI Question:

- i. What is the anticipated award date of this project?

b. RFI Response:

- i. The project is expected to be awarded by City Council to the lowest responsive and responsible bidder in December 2020.

Item 03-54

Reference: BID PROPOSAL DELIVERY.

a. RFI Question:

- i. Please confirm that this bid is to be hand delivered and not electronically submitted.

b. RFI Response:

- i. Bids must be filed with the City Clerk at the Clovis Civic Center. Bids shall be submitted in sealed envelopes and marked: Bid Proposal: Landmark Square.

Item 03-55

Reference: SUBCONTRACTOR DESIGNATION CLARIFICATION.

a. RFI Question:

- i. Please confirm that the phone number and percentage of total contract price on the subcontractor designation pages can be provided 24 hours after the bid opening.
- ii. Please confirm if DIR Numbers are due at the time of bid or in 24 hour docs per Subcontractor Designation on page 9 of bid forms.
- iii. Are we able to submit the subcontractor phone number along with the full street address 24 hours after the bid?

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b. **RFI Response:**

- i. The subcontractor phone number, address & DIR Registration # may be provided to the City within 24 hours of the opening of bids. The subcontractor company name, license number, portion of work and percentage of total contract price shall be submitted with the bid.

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The following clarifications are the questions to the RFIs that have been answered on Addendum 1 and Addendum 2. The questions are listed here only for reference, all responses have been previously answered on either Addendum 1 or Addendum 2; please refer to the reference provided for the response.

Reference: DIMENSIONAL LETTER.

- a. **RFI Question:** Exterior Elevations Sheets A300 & A310 (Sheet A300 – Keynote 4 – Building Signage) shows Dimensional Letter building signage. Specifications Section 10 1400 – Signage, does not include any information related to the Dimensional Letter signage. Please provide specifications including materials, sizes, fabrication, installation, etc. relating to the Dimensional Letter exterior building signage.
- b. **RFI Response:** See Addendum 1, Item 01-02.

Reference: COILING COUNTER DOORS.

- a. **RFI Question:** Refer to Specification Section 08 3313 – Part 2.3 – Counter Door Assembly; Door Marks 139B, 139C, 147A, 151A.
 - i. Part 2.3-A.1 calls for Cookson ESC10 or approved equal.
 - ii. Part 2.3-D indicates a R-Value requirement. Cookson Counter Doors are not insulated per 2.3-D.
 - iii. Part 2.3-J indicates an Integral Frame. Please confirm Door Type ESC20 if an Integral Frame is desired.
 - iv. Part 2.3 indicates Stainless Steel finish. Door Schedule on A730 calls for Stainless Steel Door Material with a Clear Anodized Door / Frame Finish (Aluminum).
 - v. Please confirm Insulation not required at Coiling Counter Doors.
 - vi. Please clarify Door Type relative to the Integral Frame.
 - vii. Please confirm Stainless Steel Type 304 #4 Finish and not Clear Anodized (Aluminum) Finish.
- b. **RFI Response:** See Addendum 2, Item 02-04.
- c. **RFI Question:** Refer to Specification Section 08 3313 – Part 2.4 – Fire-Rated Counter Door Assembly; Door Marks 121A, 121C, 121D.
 - i. Part 2.4-A.1 calls for Cookson ERC11 or approved equal.
 - ii. Part 2.4-E indicates a R-Value requirement. Cookson Counter Doors are not insulated per 2.4-E.
 - iii. Part 2.3-J indicates an Integral Frame. Please confirm model ERC20 if an Integral Frame is desired.
 - iv. Part 2.3 indicates Stainless Steel finish. Door Schedule on A730 calls for Stainless Steel Door Material with a Clear Anodized Door / Frame Finish (Aluminum).
 - v. Please confirm Insulation not required at Coiling Counter Doors.

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- vi. *Please clarify model relative to the Integral Frame.*
- vii. *Please confirm Stainless Steel Type 304 #4 Finish and not Clear Anodized (Aluminum) Finish.*
- d. **RFI Response:** *See Addendum 2, Item 02-04.*
- e. **RFI Question:** *Refer to Specification Section 08 3313 – Part 2.6 – Service Door Assembly; Door Marks 101A.*
 - i. *Part 2.6-A.1 calls for Cookson ESD10 or approved equal.*
 - ii. *Part 2.6-D indicates a R-Value requirement. Cookson Coiling Doors are not insulated per 2.6-D.*
 - iii. *Part 2.6-J indicates an Integral Frame. Cookson Service Doors are not available with an Integral Frame.*
 - iv. *Part 2.3 indicates Stainless Steel finish. Door Schedule on A730 calls for Stainless Steel Door Material with a Clear Anodized Door / Frame Finish (Aluminum).*
 - v. *Please confirm Insulation not required at Service Doors.*
 - vi. *Please confirm Integral Frame is not required.*
 - vii. *Please confirm Stainless Steel Type 304 #4 Finish and not Clear Anodized (Aluminum) Finish.*
- f. **RFI Response:** *See Addendum 2, Item 02-04.*

Reference: ROOF OVERHANG STRUCTURE.

- a. **RFI Question:** *Refer to Sheet S301 - Senior Center – Upper Roof Framing Plan.*
 - i. *Sections D/S401 & E/S402 reference Detail 4/S503 at the Roof Overhang west of Grid Line 1.*
 - ii. *Detail 4/S503 indicates Fascia Beam per Plans.*
 - iii. *This Beam size is not identified on Upper Roof Framing Plan S301.*
 - iv. *Please clarify.*
- b. **RFI Response:** *See Addendum 2, Item 02-17, Item 02-22, Item 02-23, Item 02-24, Item 02-29, Item 02-32.*

Reference: EXTERIOR COLUMNS @ MULTI-PURPOSE.

- a. **RFI Question:** *Refer to Sheet A200 – Senior Center Floor Plan, A300 – Senior Center Exterior Elevations (West), A600 – Senior Center.*
 - i. *RCP appears to show exterior columns at the entry to the Multi-Purpose Room 151 which are not shown on the Foundation Plan (S200). Please clarify.*
- b. **RFI Response:** *See Addendum 2, Item 02-20.*

Reference: KITCHEN EQUIPMENT.

- a. **RFI Question:** *Plan Sheet A201 includes a Food Service Equipment Schedule with Letter (A – Y) designations for the various food service equipment items. These*

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letter designations do not correlate to the Keynote number callouts (1 – 51) on the Enlarged Floor Plans. Please clarify the Food Service Equipment Items A – Y in relation to the Enlarged Floor Plans / Keynote Items on Sheet A201.

- b. **RFI Response:** See Addendum 2, Item 02-51.

Reference: A730 – DOOR SCHEDULE.

- a. **RFI Question:** Refer to Sheet A730 – HM Frame Types.
- i. Is Frame Type H4 being used on this project? This frame type does not appear on the door schedules.
 1. Please note, Door Schedules reference HM-X in the Frame Type column; HM Frame Types below are referenced as HX / H-X.
 2. Frame Type H1 and Frame Type H4 are both indicated as H-1 Hollow Metal Frame.
 - ii. Hollow Metal Frame Type H3 / H-3 does not appear on the Door Schedules. Is this Frame Type being used? If so, please clarify where it is to be used.
- b. **RFI Response:** See Addendum 2, Item 02-16.

Reference: STRUCTURAL COLUMNS @ UPPER ROOF.

- a. **RFI Question:** Refer to Upper Roof Framing Plan – A/S301.
- i. Tower Framing Between Grid Line sC and sG show Steel Columns at the corners and in the wall lines as shown per Roof Framing Note 14 on S301. Roof Framing Plan on S300 does not call out any columns above Steel Beams B17 or Wood Beam B8.
 1. Details 5/S602, 10/S602, 13/S602 do not show columns at these locations extending above beams shown on S300.
 - ii. Please clarify column sizes at Upper Roof Framing A/S301 and provide further details.
 1. Column to beam connections at B17 and B8 Beams at Roof Framing S300.
 2. Beam to column connections for B2 Beams at Upper Roof Framing S301.
- b. **RFI Response:** See Addendum 1, Item 02-20.

Reference: VERTICAL WOOD SIDING – 1X3 FURRING.

- a. **RFI Question:** Details 6, 7, 11, 12, 16 and 17 on Sheet A903 call for the 1x3 furring to be installed horizontal at 18” oc. Details 19 and 24 on Sheet A907, Sketch AD1-10, Details 1 and 3 on Sheet A908 and Details 12, 13, 14 and 20 on Sheet A909 call for the 1x3 furring to be installed at 24” oc. Please clarify the spacing requirement for the 1x3 furring.
- b. **RFI Response:** See Addendum 2, Item 02-11.

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Reference: EXTERIOR ELEVATION FINISHES.

- a. **RFI Question:** Refer to plan Sheets A300 and A310; there are several areas where the resolution of the plan is hard to determine which finish is to go where. Example, Sheet A300, Senior Center South Exterior Elevation, the towers have no pixels and the graphics are extremely light. Please provide darker exterior plan sheets that match the symbols in the legend.
- b. **RFI Response:** See Addendum 2, Item 02-12.

Reference: FASCIA @ UPPER ROOF FRAMING.

- a. **RFI Question:** Upper Roof Framing Plan S301 calls out F2 Typ. – 5-1/2" x 16-1/2" shaped GLB fascia beam at the Tower Framing. Details 1/S501, 8/S506 show 2x12 fascia at these locations. Architectural Details 13 and 14/A909 both show 2x12 fascia at these locations. Please advise.
- b. **RFI Response:** See Addendum 2, Item 02-22.

Reference: BID BOND FORM.

- a. **RFI Question:** Please advise if the bid bond form provided can be adjusted to read 10% of bid amount in lieu of a dollar amount.
 - i. Please advise if it is acceptable for the General Contractor to use their own bid bond form that shows it is for 10% of the bid instead of listing a dollar amount.
- b. **RFI Response:** See Addendum 2, Item 02-54.

Reference: COMMISSIONING AGENT REQUIREMENTS.

- a. **RFI Question:** Please confirm if the commissioning agent referenced in Spec Section 01 91 13 is contracted by the Owner.
- b. **RFI Response:** See Addendum 2, Item 02-01.

Reference: BUILDING PERMIT FEES.

- a. **RFI Question:** Please confirm if general building permit fees are to be covered by the General Contractor or if the special provisions 96-11 is referring to special permits.
- b. **RFI Response:** See Addendum 2, Item 02-59.

Reference: FOOD SERVICE EQUIPMENT CLARIFICATIONS.

- a. **RFI Question:**
 - i. Please confirm that all OFCI and CFCI designations are correct.
 - ii. Would the owner like an alternate price for the bidder to provide and install all OFCI listed items?
 - iii. Are the OFCI items going to be newly purchased and delivered to the site, or are they pieces of existing equipment at another location? If they

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are existing at a separate location, will the owner be relocating the equipment to the new site?

- b. **RFI Response:**
- i. The designations are correct.
 - ii. Alternate price is not requested.
 - iii. See Addendum 2, Item 02-14.

Reference: SWPPP REQUIREMENTS.

- a. **RFI Question:** Please confirm that civil drawings sheets 16-24 meet the requirements for the SWPPP per spec section 01 50 00-3.4D.
- b. **RFI Response:** See Addendum 2, Item 02-45.

Reference: SUBCONTRACTOR DESIGNATION.

- b. **RFI Question:** Please provide clarification if the general contractor is to perform no less than five (5) percent of the original contract price.
- c. **RFI Response:** See Addendum 2, Item 02-55.

Reference: CALTRANS PARTICIPATION.

- a. **RFI Question:** Please confirm if Caltrans is involved in the Clovis Landmark Square project whatsoever.
- b. **RFI Response:** See Addendum 2, Item 02-56.

Reference: SHEET 2 OF 24 - FIRE HYDRANTS.

- a. **RFI Question:** Construction Notes sheet 2 of 24 see note 8 under GRADING-BUILDING ON SITE. Note 8 states All fire hydrants are to be in place before building construction can begin.
 - i. Question- Are there already Fire Hydrants in place for construction to begin or do we need to install the new Fire Hydrants before we can start? If we need to have new Fire Hydrants in place can we start the process and go as far as pouring the foundation without new Fire Hydrants in place?
- b. **RFI Response:** See Addendum 2, Item 02-43.

Reference: LAYDOWN YARD – FUTURE LIBRARY SITE.

- a. **RFI Question:** Are we able to use the Future Library site for trailers and laydown?
- b. **RFI Response:** See Addendum 2, Item 02-50.

Reference: SECTION 26 25 00 – EMERGENCY POWER SYSTEMS.

- a. **RFI Question:** Specification 26 25 00 paragraph 1.01 calls for 2 complete emergency power systems. Plan sheet E101 note 32 calls for one 800kW emergency generator. Please clarify whether 1 or 2 generators are required.

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b. *RFI Response: See Addendum 2, Item 02-08.*

Reference: SECTION 32 94 00 – PLANTING ACCESSORIES

- a. *RFI Question: Spec 329400: Planting Accessories calls for a stainless-steel cable system for the climbing plants. Detail B/C 18 of 24 shows a fabricated metal trellis. Which is required for this project?*
- b. *RFI Response: See Addendum 2, Item 02-09.*

Reference: BIKE RACK

- a. *RFI Question: Plan 17 of 24 shows a different bike rack per detail 14 than is shown per detail 9/A101. Which is required for this project?*
- b. *RFI Response: See Addendum 2, Item 02-10.*

Reference: OFFSITE PERMITS – PAVED ALLEY.

- a. *RFI Question: Will offsite permits be required to tie into the utilities on the paved alley at the east side of the site?*
- b. *RFI Response: See Addendum 2, Item 02-57.*

 Mike Harrison, City of Clovis
 City Engineer

 Date

BIDDER SHALL SIGN BELOW INDICATING HE/SHE HAS THOROUGHLY READ AND UNDERSTANDS THE CONTENTS OF THIS ADDENDUM NO. 2. Bidder shall submit a signed copy of this Addendum with his/her bid. Non-submittal of the Addendum with the bid will not be cause for rejection of the bid; however, the Addendum must be signed prior to the award of the Contract.

 Contractor Signature

 Date

END OF ADDENDUM #03

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LEGEND

- EXISTING GRADE
- PROPOSED TOP OF CURB GRADE
PROPOSED PAVEMENT OR GUTTER GRADE
- PROPOSED FINISH FLOOR
- PROPOSED BUILDING PERIMETER GRADE (PRIOR TO PAD GRADING, VERIFY AGGREGATE BASE & FLOOR THICKNESS W/ STRUCTURAL PLANS)
- GRADE BREAK
- BACK OF WALK
CONCRETE
- EDGE OF PAVEMENT
- FENCE CORNER
- FLOW LINE
- FACE OF WALL
- GUTTER FLOWLINE
- TOP OF INLET GRATE
- DIRT
- PAVEMENT
- TOP OF CURB
- TOP OF FOOTING
- TOP OF WALL
- VALLEY GUTTER
- JOINT POLE
- ROOF WATER LEADER
- DIRECTION OF DRAINAGE ARROW
- PROPERTY LINE
- GLUE DOWN TRUNCATED DOMES (DETECTABLE WARNING DEVICE) PER CBC SECTION 11B-705 MANUFACTURED BY ARMOR-TILE OR EQUIVALENT MATERIAL
- PROPOSED 4.0" ASPHALT CONCRETE/4.0" CL II AGGREGATE BASE (95% REL. COMPACTION)/6" COMPACTED NATIVE SOIL (95% REL. COMPACTION) PAVEMENT SECTION
- PROPOSED 2.5" ASPHALT CONCRETE/4.0" CL II AGGREGATE BASE (95% REL. COMPACTION)/6" COMPACTED NATIVE SOIL (95% REL. COMPACTION) PAVEMENT SECTION
- PROPOSED VEHICULAR CONCRETE (PASSENGER LOADING ZONE) 6.5" CONCRETE/6" COMPACTED NATIVE SOIL (95% REL. COMPACTION)
- PROPOSED CONCRETE SIDEWALK SHALL BE CONSTRUCTED PER CITY STANDARD ST-5
- AC TRAIL WITH 6" CONCRETE MOW CURB PER 10' AC TRAIL DETAIL, SEE SHEET 3
- PROPOSED TRENCH DRAIN (NDS 4" SPEE-D CHANNEL DRAIN WITH RAW IRON CHANNEL WAVE GRATES, PART No. 253CI, OR APPROVED EQUIVALENT)
- PROPOSED DRAIN INLET PER CATCH BASE DETAIL 1, SEE SHEET 3
- PROPOSED ADA DRAIN INLET PER CATCH BASE DETAIL 2, SEE SHEET 3
- PROPOSED ADA OUTLET GRATE PER CATCH BASE DETAIL 3, SEE SHEET 3
- PROPOSED AREA DRAIN (NDS PART No. 970 OR APPROVED EQUIVALENT)
- PROPOSED AREA LIGHT PER ARCHITECT'S PLANS
- AC DIKE PER DETAIL, SEE SHEET 3
- 6" CONCRETE CURB PER DETAIL PER DETAIL, SEE SHEET 3
- CATCH BASIN AS SPECIFIED ON PLUMBING PLANS FOR AIR GAP
- CATCH BASIN AS SPECIFIED ON PLUMBING PLANS FOR AIR GAP AND AREA DRAIN
- 18" SQUARE CATCH BASIN (NDS 1804 WITH GRATE AND EXTENSION OR APPROVED EQUAL) FOR AIR GAP AND AREA DRAIN
- 36" CONCRETE VALLEY GUTTER PER DETAIL, SEE SHEET 3
- ADA 36" CONCRETE VALLEY GUTTER PER DETAIL, SEE SHEET 3
- 6" CONCRETE CURB & GUTTER PER CITY OF CLOVIS STD. ST-5
- 6" CONCRETE WEDGE CURB PER DETAIL, SEE SHEET 3
- EDGE OF PAVEMENT
- RELOCATED POWER POLE PER SEPARATE PLANS
- SAW CUT LINE
- CROSS SECTION DETAIL, SEE SHEET 4
- SEE GRADING DETAIL 1, SEE SHEET 4

ESTIMATED GRADING QUANTITIES

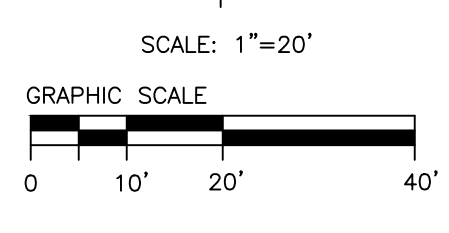
CUT	=	1,550 CUBIC YARDS
FILL	=	8,550 CUBIC YARDS

* INCLUDES ROUGH GRADING FOR LIBRARY AREAS

ACREAGE AFFECTED: 5.99 AC

APPROVED BY: _____ DATE: _____

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
FMFCD APPROVAL IS LIMITED TO:
1) ON-SITE DRAINAGE AREA BOUNDARIES
2) LOCATION OF DRAINAGE ENTRY INTO PUBLIC STREETS



Harbour & Associates
Civil Engineers
389 Clovis Avenue, Suite 300 • Clovis, California 93612
(559) 325-7676 • Fax (559) 325-7699 • Email stanley@harbour-engineers.com

BY: *Stanley W. Harbour* DATE: 11/06/2020

REVISIONS		APPROVALS	
SHEET NO.	DATE	APPROVED	APPROVED (INITIAL)

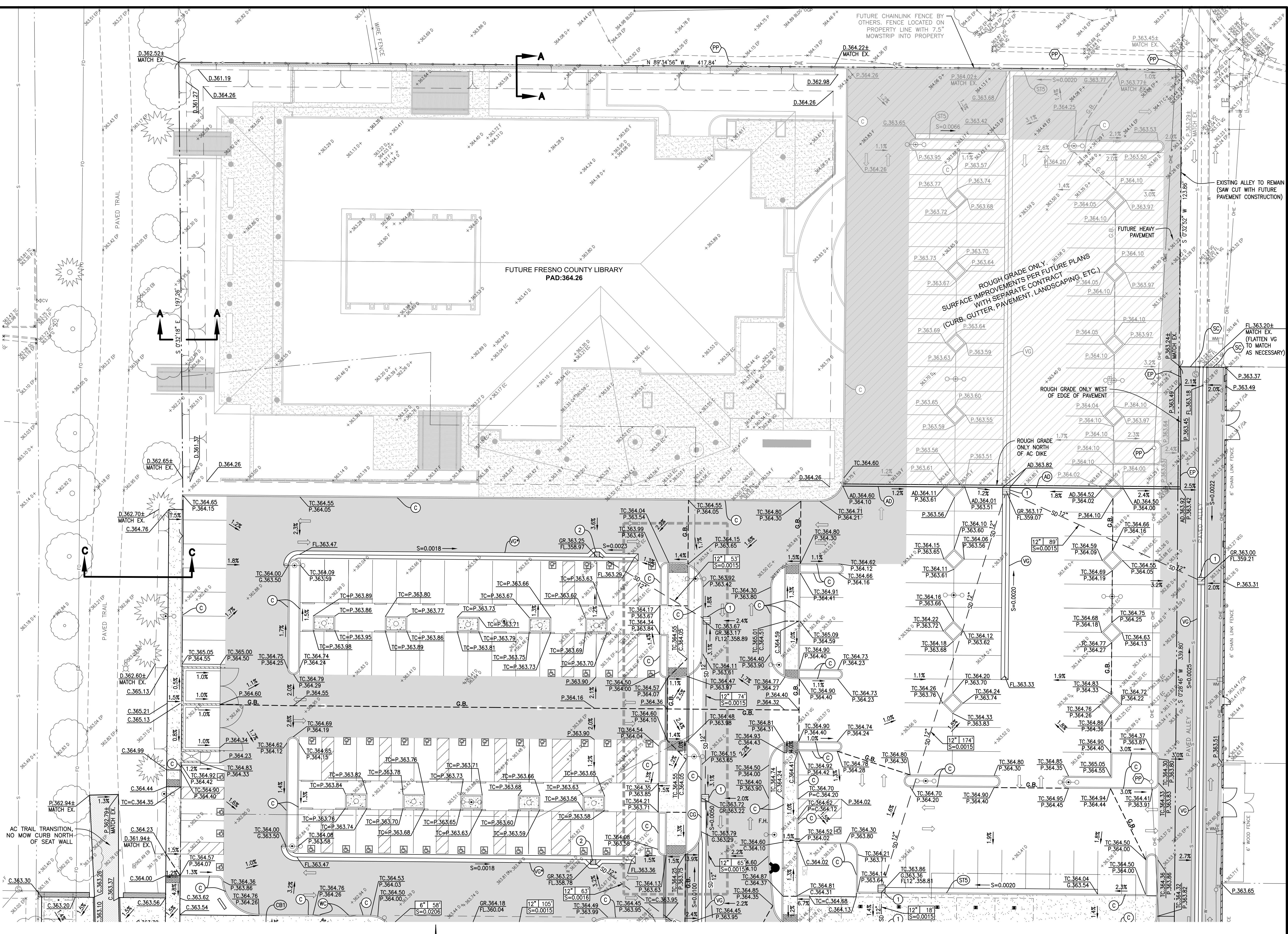
FMFCD CONTRACT 4D-PVT-1

CITY OF CLOVIS
PLANNING AND DEVELOPMENT DEPARTMENT

LANDMARK SQUARE

GRADING PLAN NORTH

PROJECT NO. CIP 15-03
SHEET NO. 7 OF 24



EXISTING ALLEY TO REMAIN (SAW CUT WITH FUTURE PAVEMENT CONSTRUCTION)

ROUGH GRADE ONLY. SURFACE IMPROVEMENTS PER FUTURE PLANS WITH SEPARATE CONTRACT (CURB, GUTTER, PAVEMENT, LANDSCAPING, ETC.)

ROUGH GRADE ONLY WEST OF EDGE OF PAVEMENT

ROUGH GRADE ONLY NORTH OF AC DIKE

FL 363.20+ MATCH EX. (FLATTEN VG TO MATCH AS NECESSARY)

FL 363.49

GR 363.00 FL 363.21

FL 363.51

FL 363.65

FL 363.85

FL 364.00

FL 364.15

FL 364.30

FL 364.45

FL 364.60

FL 364.75

FL 364.90

FL 365.05

FL 365.20

FL 365.35

FL 365.50

FL 365.65

FL 365.80

FL 365.95

FL 366.10

FL 366.25

FL 366.40

FL 366.55

FL 366.70

FL 366.85

FL 367.00

FL 367.15

FL 367.30

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FL 382.20

FL 382.35

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FL 382.65

FL 382.80

FL 382.95

FL 383.10

FL 383.25

FL 383.40

FL 383.55

FL 383.70

FL 383.85

FL 384.00

FL 384.15

FL 384.30

FL 384.45

FL 384.60

FL 384.75

FL 384.90

FL 385.05

FL 385.20

FL 385.35

FL 385.50

FL 385.65

FL 385.80

FL 385.95

FL 386.10

FL 386.25

FL 386.40

FL 386.55

FL 386.70

FL 386.85

FL 387.00

FL 387.15

FL 387.30

FL 387.45

FL 387.60

FL 387.75

FL 387.90

FL 388.05

FL 388.20

FL 388.35

FL 388.50

FL 388.65

FL 388.80

FL 388.95

FL 389.10

FL 389.25

FL 389.40

FL 389.55

FL 389.70

FL 389.85

FL 389.95

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FL 390.25

FL 390.40

FL 390.55

FL 390.70

FL 390.85

FL 391.00

FL 391.15

FL 391.30

FL 391.45

FL 391.60

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FL 393.10

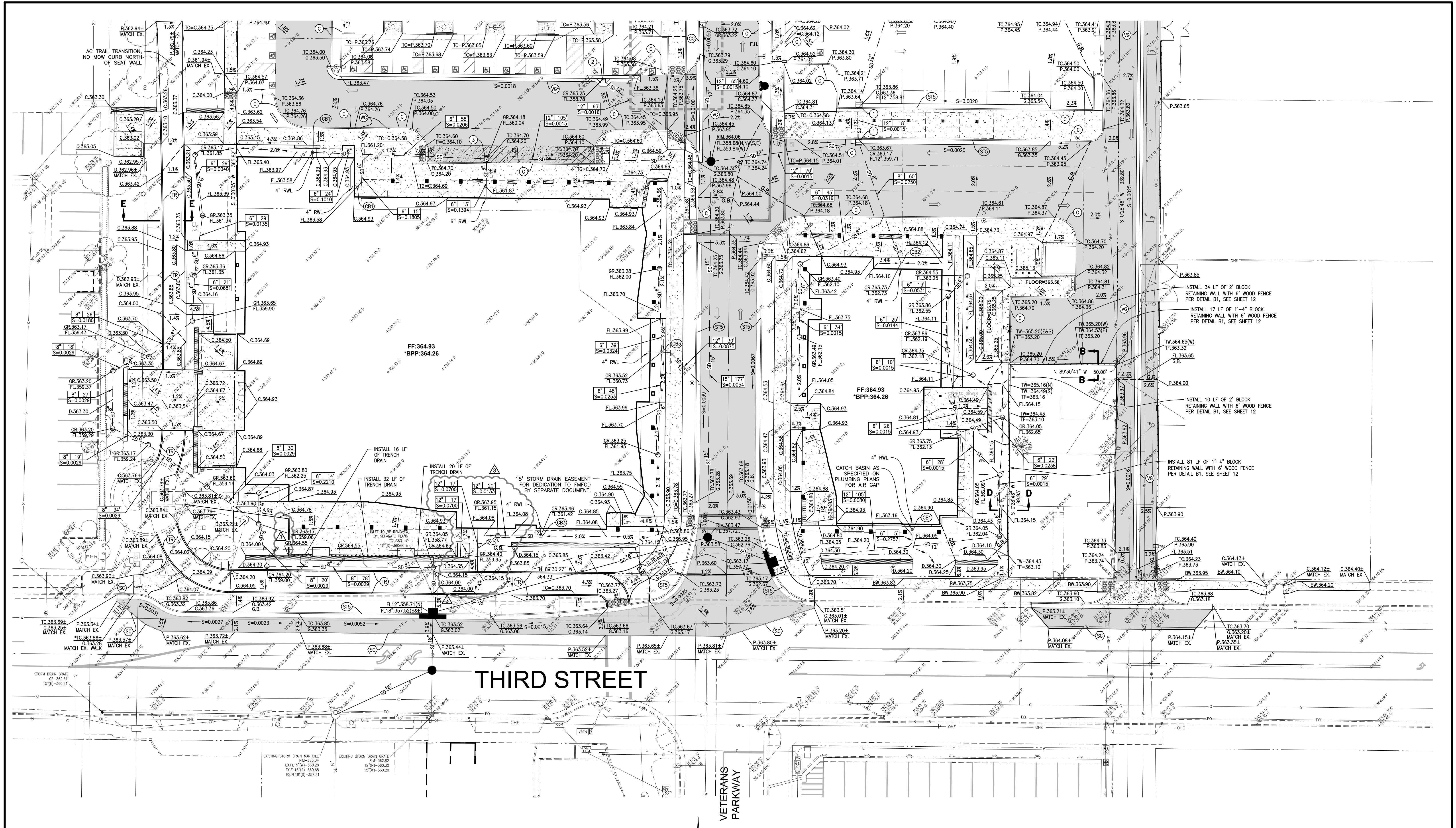
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FL 393.55

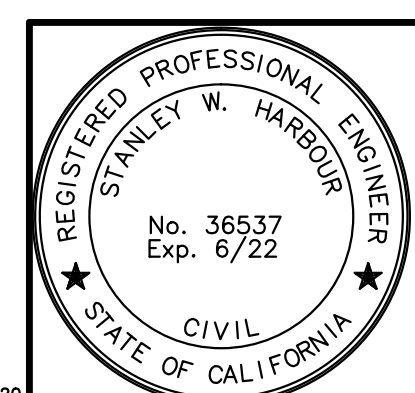
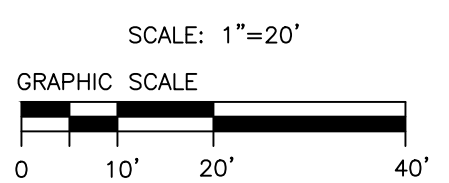
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APPROVED BY: _____ DATE: _____

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
 FMFCD APPROVAL IS LIMITED TO:
 1) ON-SITE DRAINAGE AREA BOUNDARIES
 2) LOCATION OF DRAINAGE ENTRY INTO PUBLIC STREETS



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 (559) 325-7676 • Fax: (559) 325-7699 • e-mail: stanley@harbour-engineering.com

By: *Stanley W. Harbour* 11/08/2020
 STANLEY W. HARBOUR RCE 36537 DATE

REVISIONS	
SHEET NO.	DATE
1	
2	
3	
4	
5	
6	

APPROVALS	
APPROVED (INITIALS)	DATE

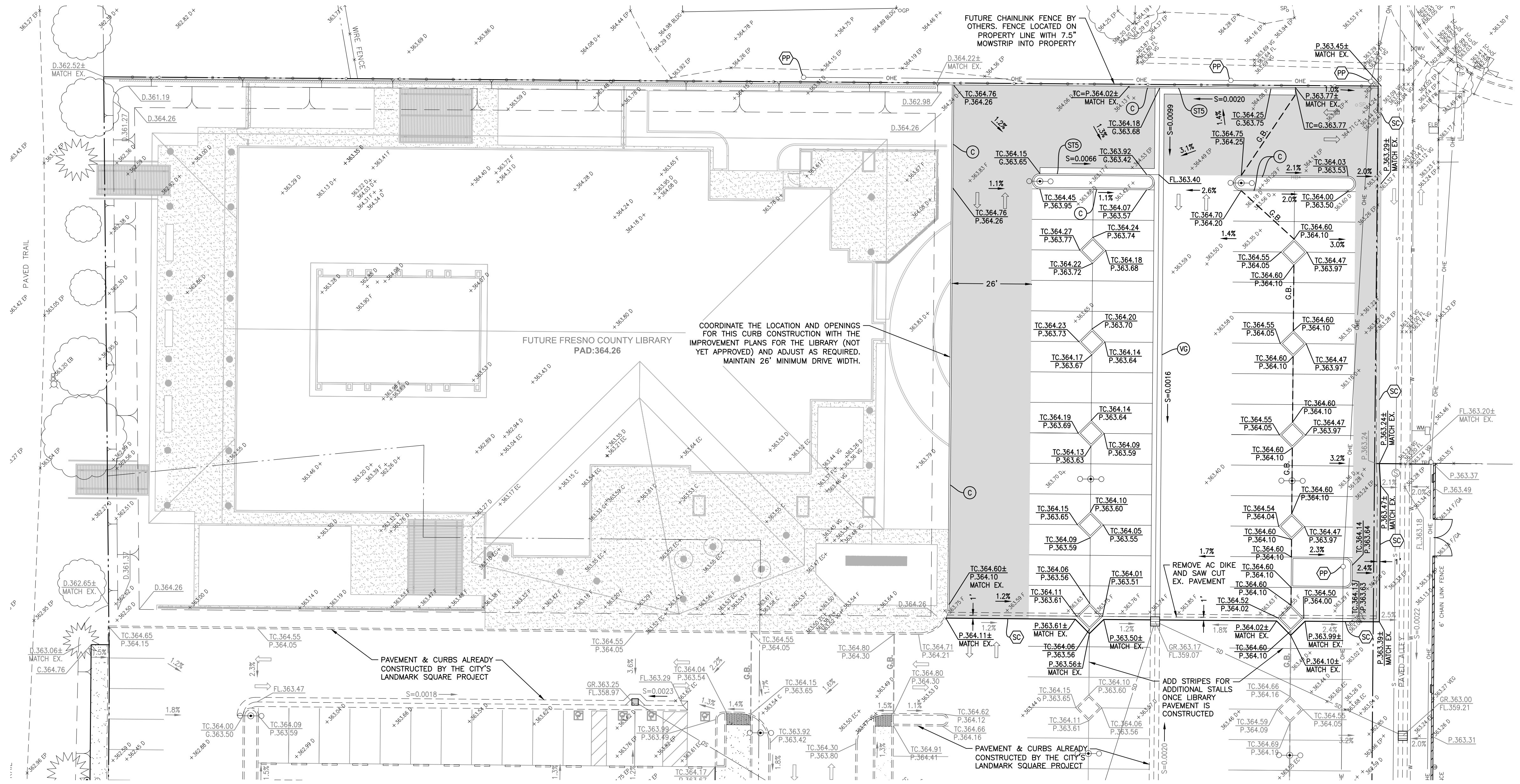
FMFCD CONTRACT 4D-PVT-1

CITY OF CLOVIS • PLANNING AND DEVELOPMENT DEPARTMENT	
PROJECT TITLE LANDMARK SQUARE	PROJECT NO. 15-03
SHEET DESCRIPTION GRADING PLAN SOUTH	SHEET NO. 8 OF 24

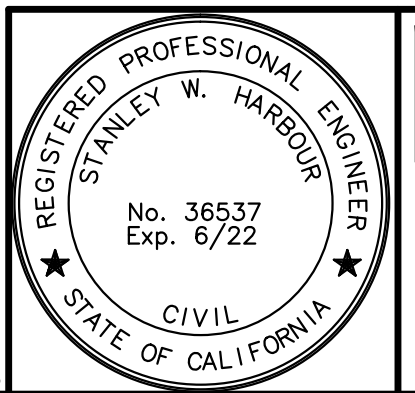
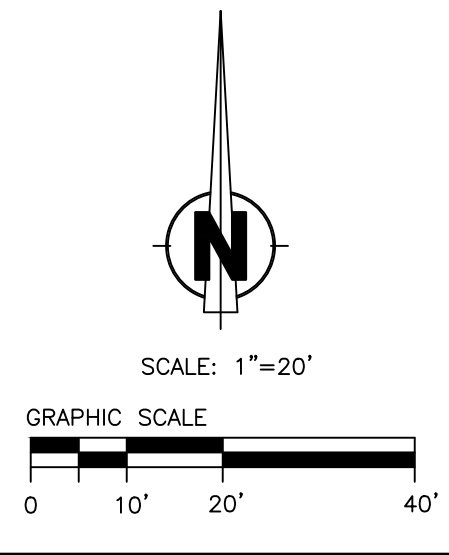
FOR INFORMATION & REFERENCE ONLY, NOT APPROVED FOR CONSTRUCTION

LEGEND

	EXISTING GRADE
	PROPOSED TOP OF CURB GRADE
	PROPOSED PAVEMENT OR GUTTER GRADE
	GRADE BREAK
	BACK OF WALK CONCRETE
	EDGE OF PAVEMENT
	FENCE CORNER
	FLOW LINE
	FACE OF WALL
	GUTTER FLOWLINE
	TOP OF INLET GRATE
	DIRT PAVEMENT
	TOP OF CURB
	TOP OF FOOTING
	TOP OF WALL
	VALLEY GUTTER
	JOINT POLE
	DIRECTION OF DRAINAGE ARROW
	PROPERTY LINE
	TRUNCATED DOMES (DETECTABLE WARNING DEVICE) PER CBC SECTION 11B-705 MANUFACTURED BY ARMOR-TILE OR EQUIVALENT MATERIAL
	PROPOSED 4.0" ASPHALT CONCRETE/4.0" CL II AGGREGATE BASE (95% REL. COMPACTION)/6" COMPACTED NATIVE SOIL (95% REL. COMPACTION) PAVEMENT SECTION
	PROPOSED 2.5" ASPHALT CONCRETE/4.0" CL II AGGREGATE BASE (95% REL. COMPACTION)/6" COMPACTED NATIVE SOIL (95% REL. COMPACTION) PAVEMENT SECTION
	6" CONCRETE CURB PER DETAIL PER DETAIL, SEE SHEET 3
	CONCRETE VALLEY GUTTER PER DETAIL, SEE SHEET 3
	6" CONCRETE CURB & GUTTER PER CITY OF CLOVIS STD. ST-5 SEE SHEET 3
	RELOCATED POWER POLE
	SAW CUT LINE



NOTE: CONSTRUCTION SHOWN ON THIS SHEET IS INFORMATIONAL FOR THE FUTURE PROJECT PER SEPARATE CONTRACT TO CONSTRUCT THE LIBRARY'S PARKING LOT. IT IS NOT A PART OF THE WORK SHOWN ON THE REST OF THIS IMPROVEMENT SET.



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BY: *Stanley W. Harbour* 11/06/2020
 STANLEY W. HARBOUR RCE 36537 DATE

REVISIONS		
SHEET NO.	DATE	APPROVED
1		
2		
3		
4		
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APPROVALS	
	APPROVED (INITIAL)
CONSTRUCTION MANAGEMENT	
PLANNING	
BUILDING	
UTILITIES	
DRU	
FIRE	
STREETS	
FACILITIES MAINTENANCE	

CITY OF CLOVIS

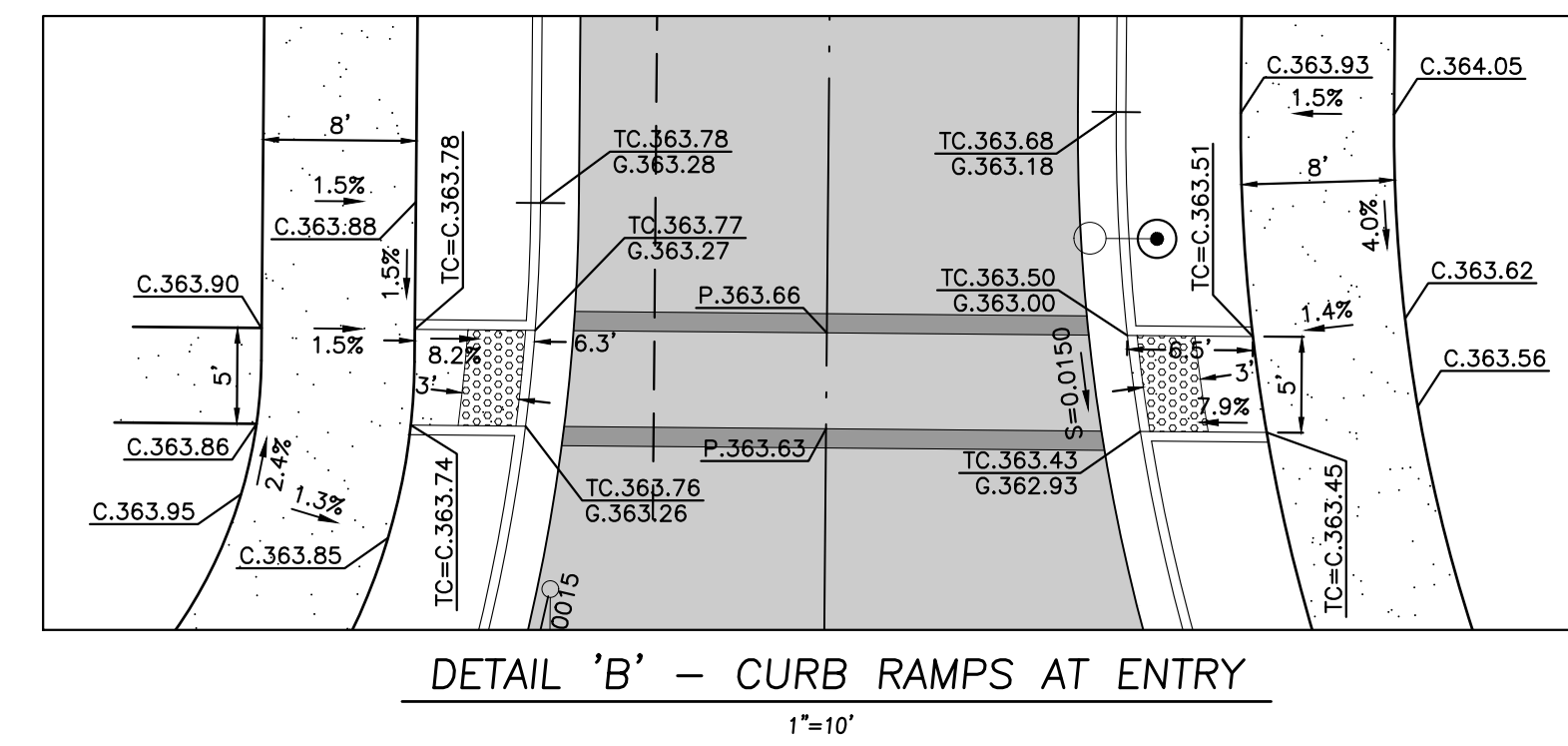
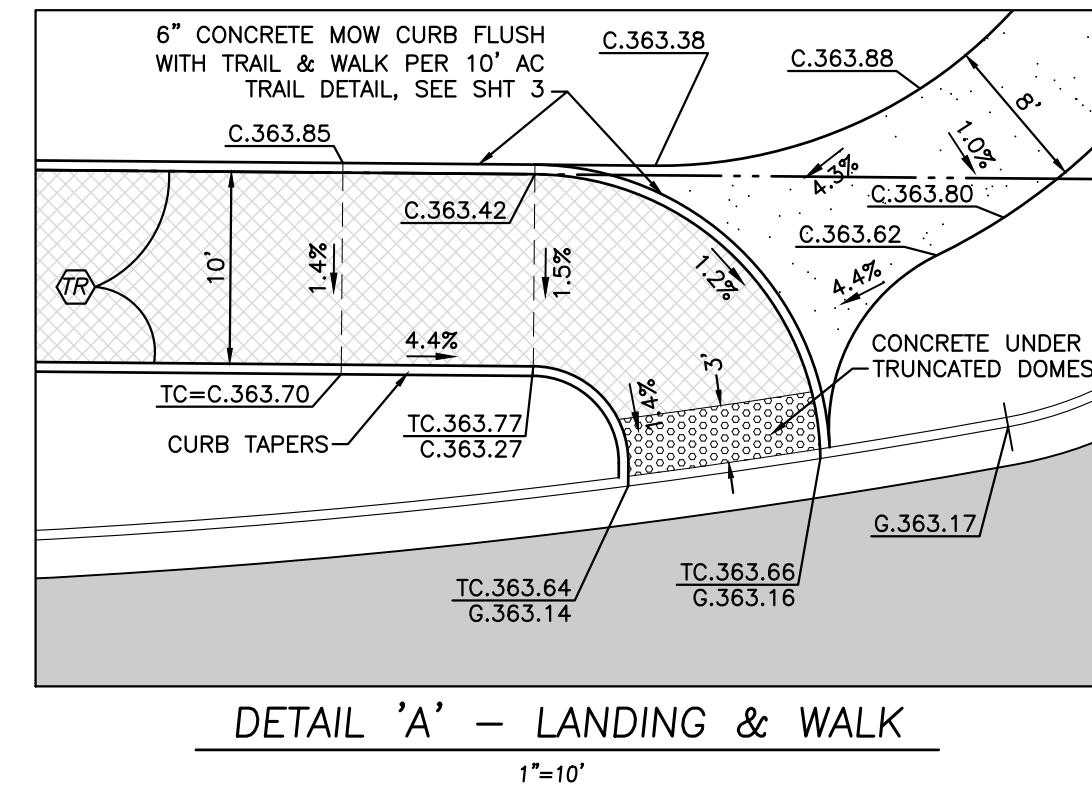
PLANNING AND DEVELOPMENT DEPARTMENT

PROJECT TITLE: **LANDMARK SQUARE**

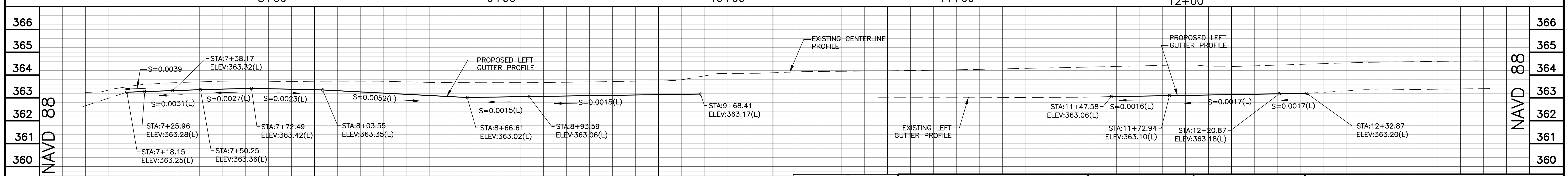
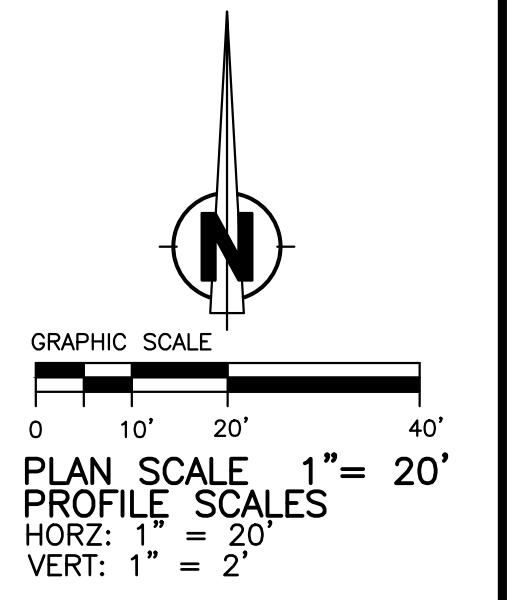
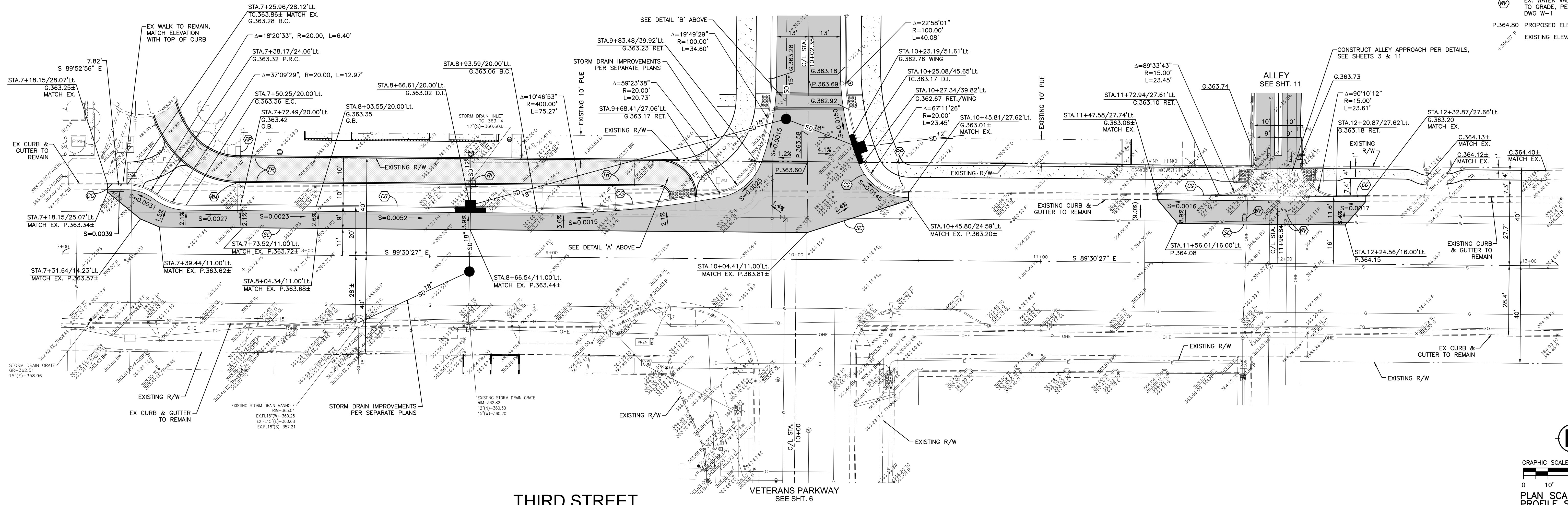
SHEET NO. 9 OF 24

SHEET DESCRIPTION: **GRADING PLAN FOR FUTURE LIBRARY PARKING LOT**

NOTE:
ALL STATIONING IS ALONG
STREET CENTERLINE



- LEGEND
- ⊙ EXISTING GLOBE LIGHT
 - ⊙ EXISTING STREET LIGHT
 - ▨ CONSTRUCT CONCRETE WALK PER CITY STD. ST-5
 - ▨ LIMITS OF A.C. PAVEMENT PER STREET SECTIONS, SEE SHEET 3
 - ▨ PROPOSED 10' A.C. TRAIL PER DETAIL, SEE SHEET 3
 - ⊙ CONST. CURB & GUTTER PER CITY STD. ST-5
 - ⊙ REMOVE EX. POWER POLE SEE P.G. & E. PLANS
 - ⊙ REMOVE DRAIN INLET PER SEPARATE PLANS
 - ⊙ EXISTING RP DEVICE TO BE RELOCATED OUTSIDE OF THE TRAIL
 - ⊙ SAWCUT AND REMOVE EXISTING A.C. PAVEMENT, MATCH NEW A.C. TO EXISTING A.C.
 - ⊙ CONSTRUCT 10' AC TRAIL PER DETAIL, SEE SHEET 3
 - ⊙ EX. WATER METER TO BE RELOCATED OUTSIDE OF THE TRAIL IN A CONCRETE COLLAR
 - ⊙ EX. WATER VALVE ADJUST TO GRADE, PER CITY STD. DWG W-1
 - P.364.80 PROPOSED ELEVATION
 - +364.01 EXISTING ELEVATION



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BY: *Stanley W. Harbour* 11/06/2020
DATE

REVISIONS		APPROVALS	
SHEET NO.	DATE	APPROVED	APPROVED (INITIAL)
1			
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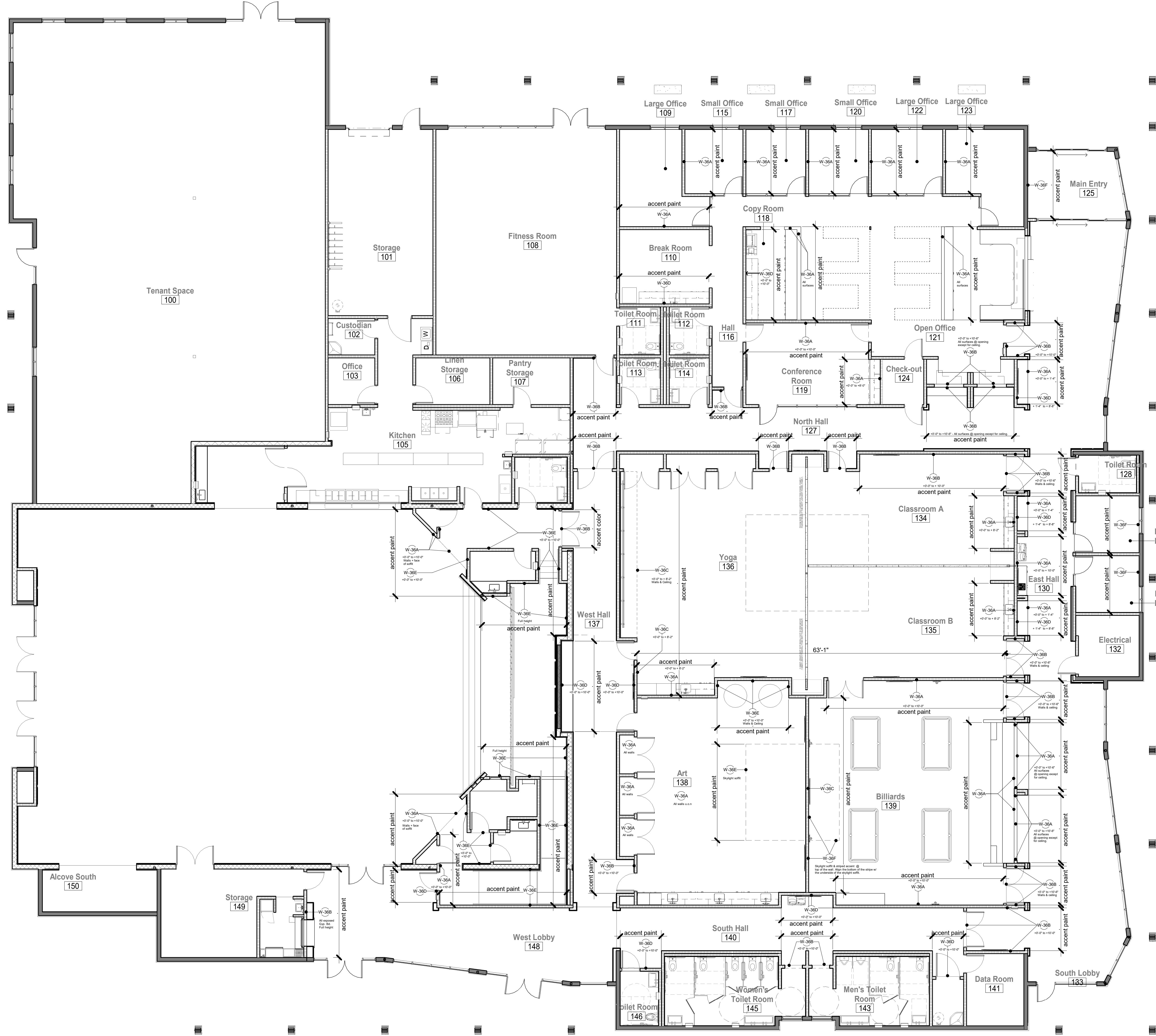
CITY OF CLOVIS PLANNING AND DEVELOPMENT DEPARTMENT

PROJECT TITLE: **LANDMARK SQUARE** PROJECT NO. CIP: 15-03

SHEET DESCRIPTION: **STREET IMPROVEMENT PLAN THIRD STREET** SHEET NO. 10 OF 15

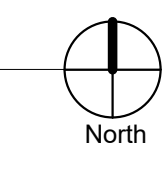


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1 Senior Center - Paint Color Floor Plan
 1/8" = 1'-0"

Note: For paint schedule see sheet AD3-A711



PROJECT:
 Clovis Landmark Square
 Senior Activity Center and Transit Center
 735 Third Street, Clovis, CA 93612

SHEET: Senior Center - Paint Color Floor Plan

DRAWING SET INFORMATION:

06/19/2020	Plan Check Submittal
------------	----------------------

REVISIONS:

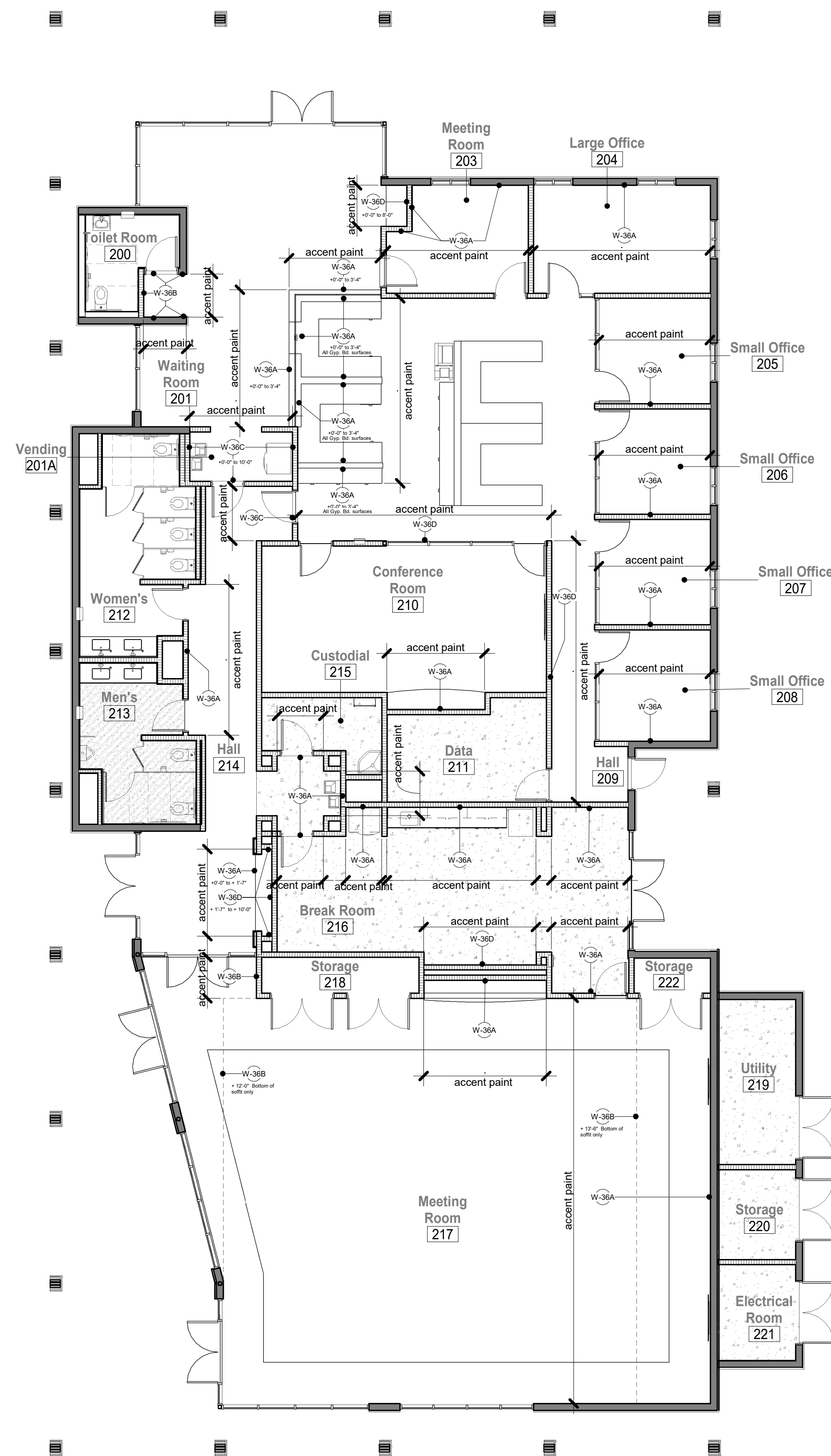
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PROJECT NUMBER:
2016-39

SHEET NUMBER:
AD3-A701



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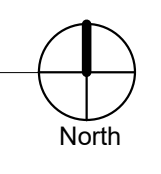


PAINT SCHEDULE

Paint Code	Product	Manufacturer	Style Number	Color	Finish	Notes
W-34	Field Color	Sherwin-Williams	SW 7636	Origami White	See general notes a & b	See note c
W-35	Ceiling Color	Sherwin-Williams	SW 7636	Origami White	See general notes a & b	See note d
W-36A	Accent Color	Sherwin-Williams	SW 7031	Mega Greige	See general notes a & b	
W-36B	Accent Color	Sherwin-Williams	SW 6417	Tupelo Tree	See general notes a & b	
W-36C	Accent Color	Sherwin-Williams	SW 9026	Tarnished Trumpet	See general notes a & b	
W-36D	Accent Color	Sherwin-Williams	SW 7598	Sierra Redwood	See general notes a & b	
W-36E	Accent Color	Sherwin-Williams	SW 7875	Sealskin	See general notes a & b	
W-36F	Accent Color	Sherwin-Williams	SW 7545	Pier	See general notes a & b	

General Notes:
 a. Coordinate w/material and finish codes sheets A720 & A721
 b. Coordinate w/ with specification section 099100 - Painting
 c. Field color W-34 is typical for all walls u.o.n.
 d. Ceiling color W-35 is typical for all ceilings u.o.n.

1 Transit Center - Paint Color Floor Plan
1/8" = 1'-0"



PROJECT:
 Clovis Landmark Square
 Senior Activity Center and Transit Center
 735 Third Street, Clovis, CA 93612

SHEET: Transit Center - Paint Color Floor Plan

DRAWING SET INFORMATION:

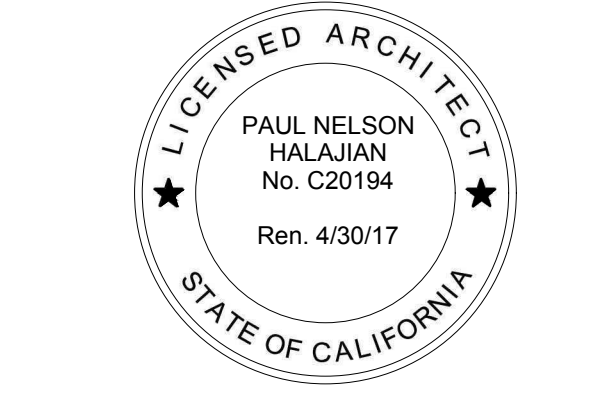
06/19/2020	Plan Check Submittal
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REVISIONS:

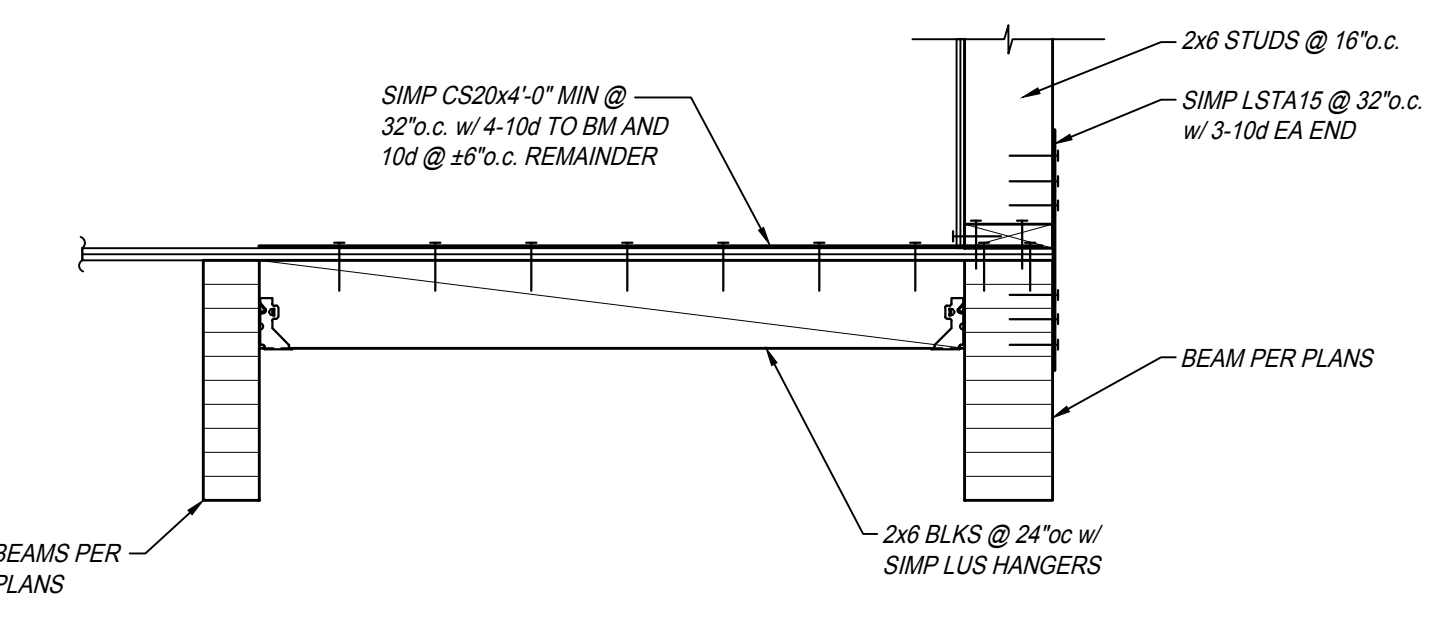
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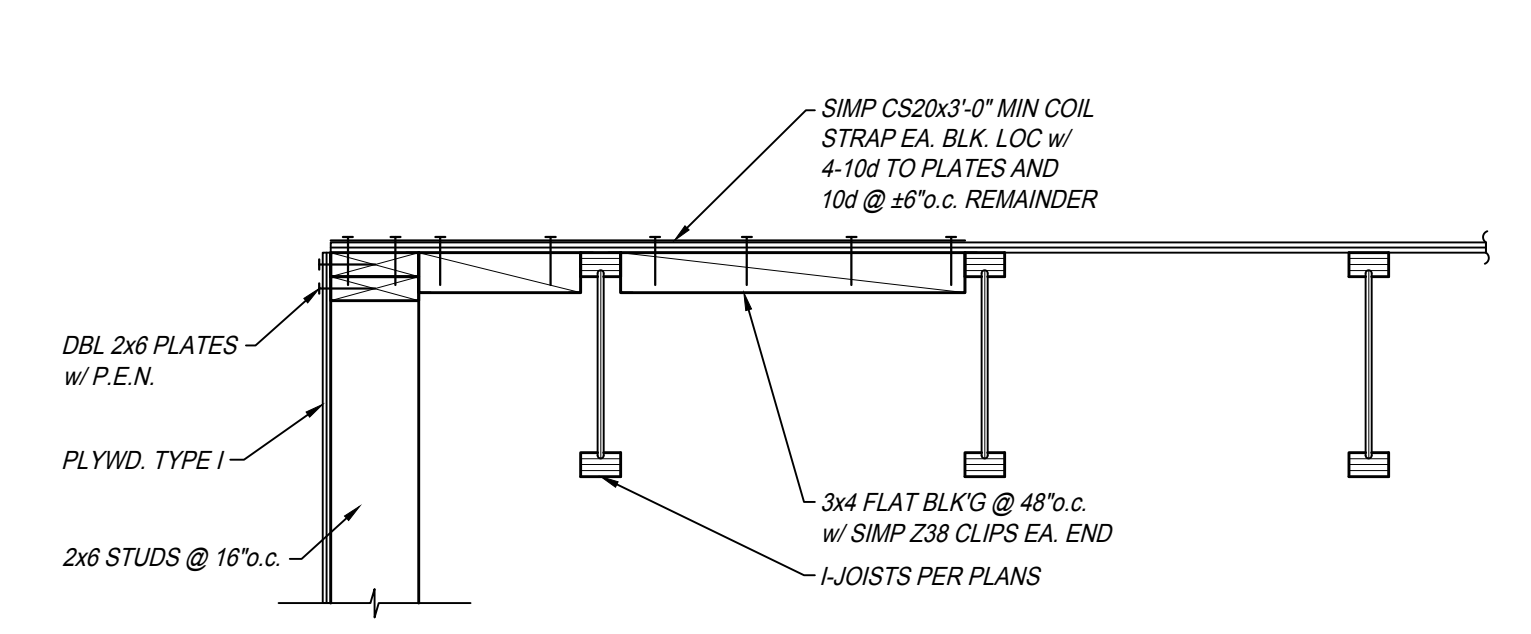
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AD3-A711



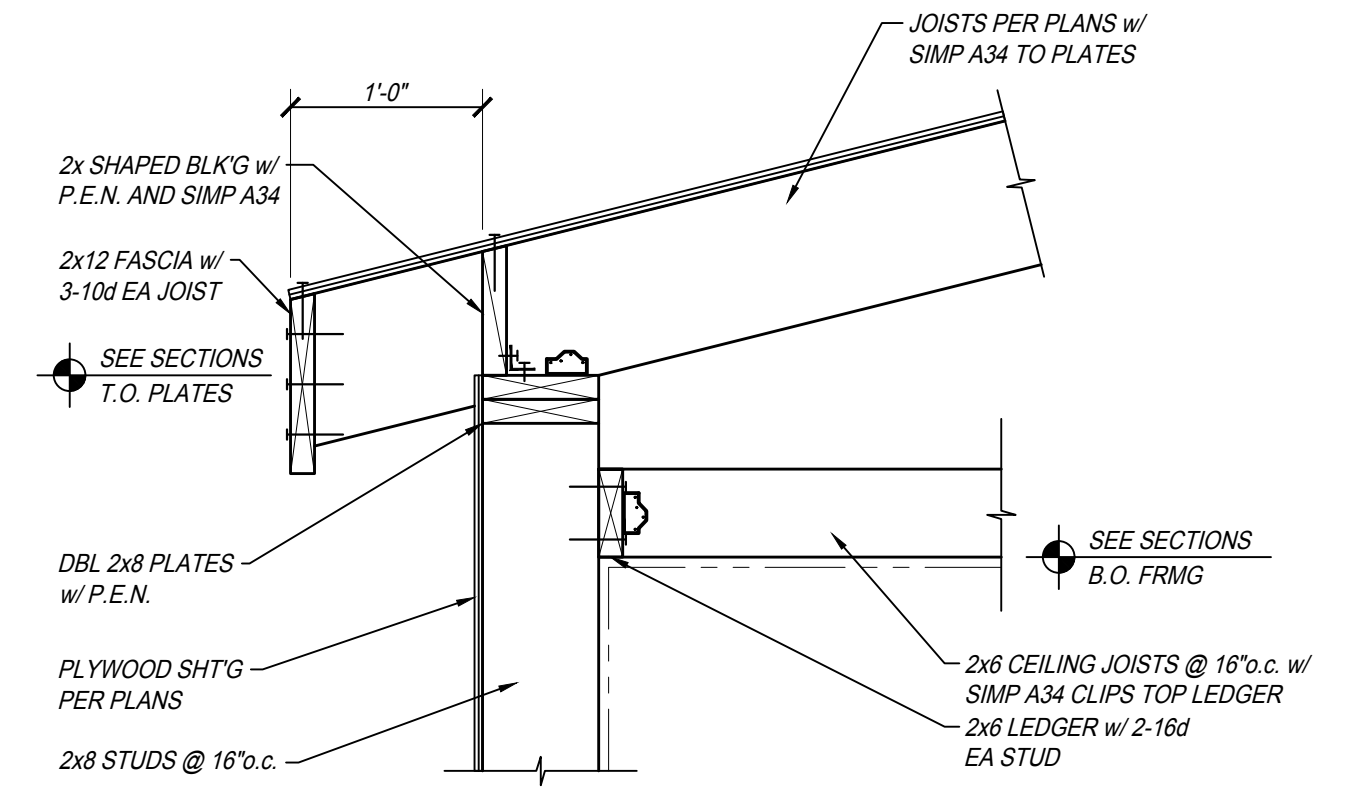
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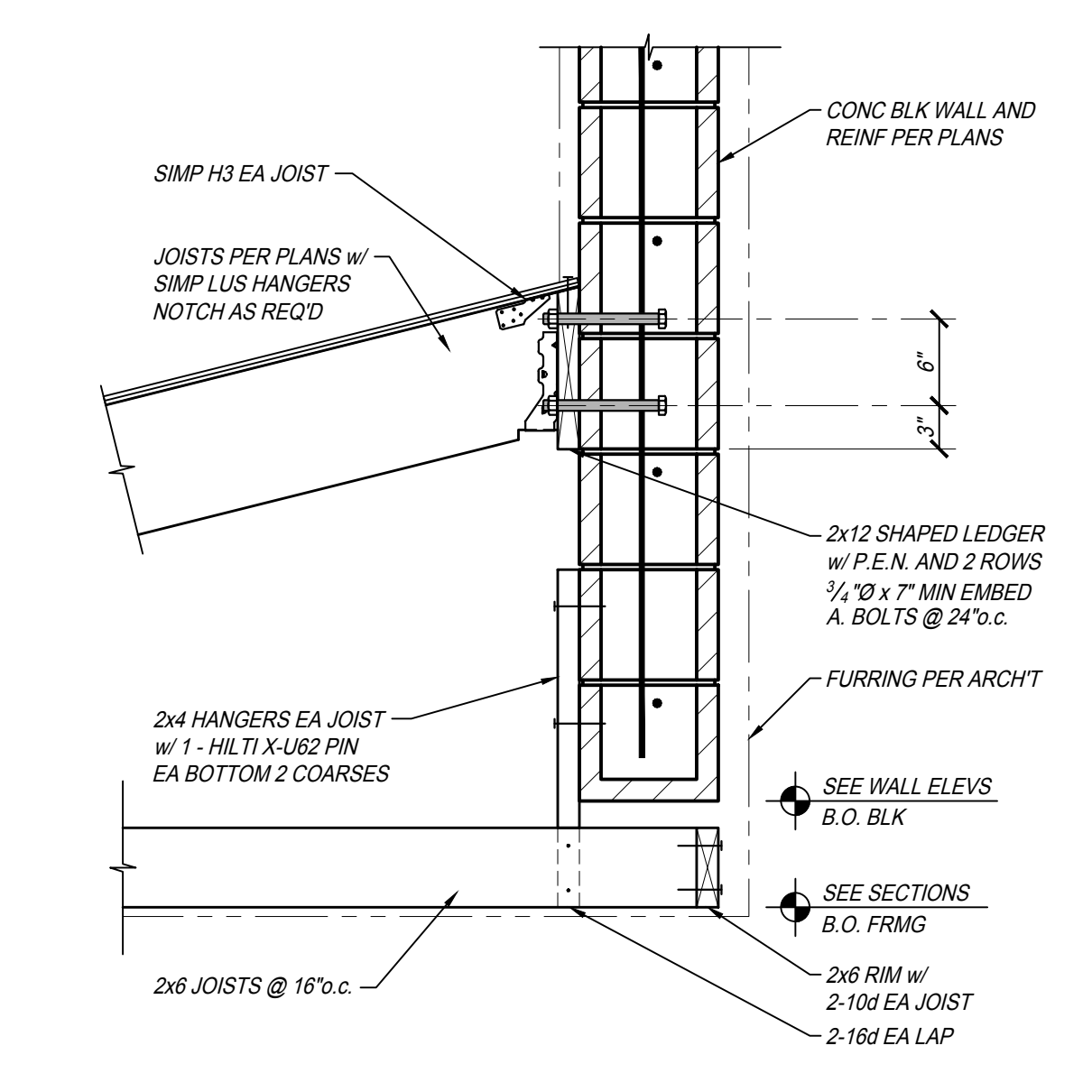
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 RFB6, S505



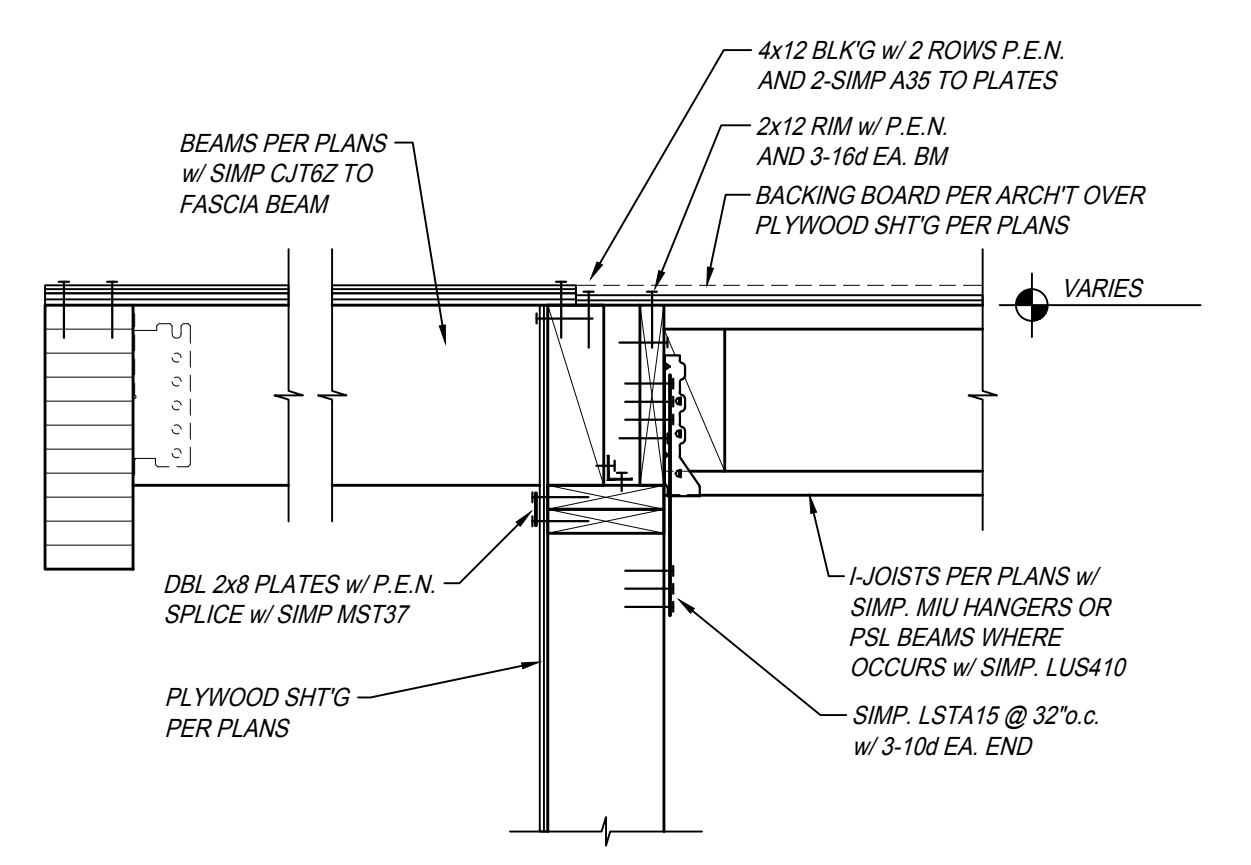
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 RFB7, S505



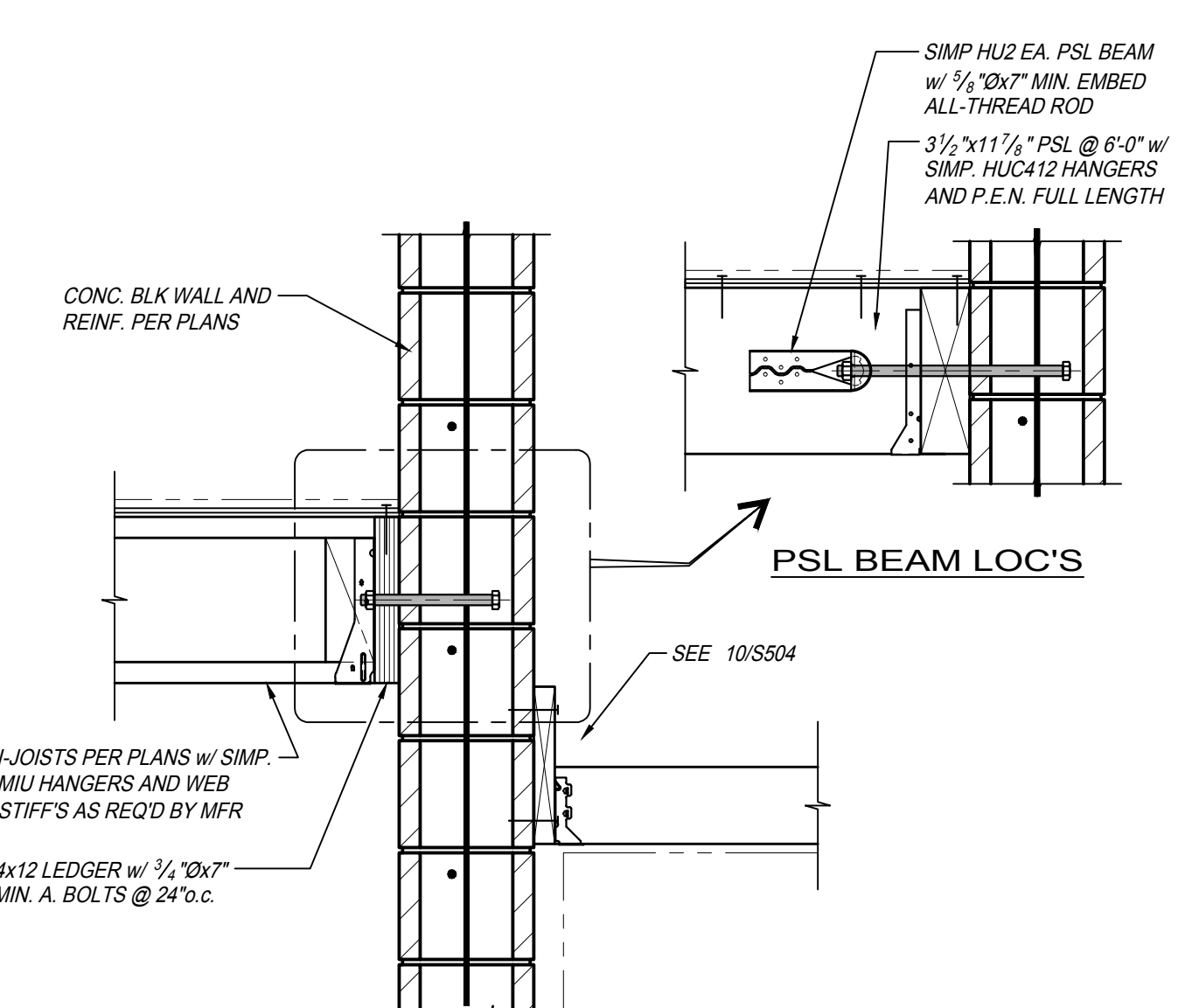
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 RFB5, S505



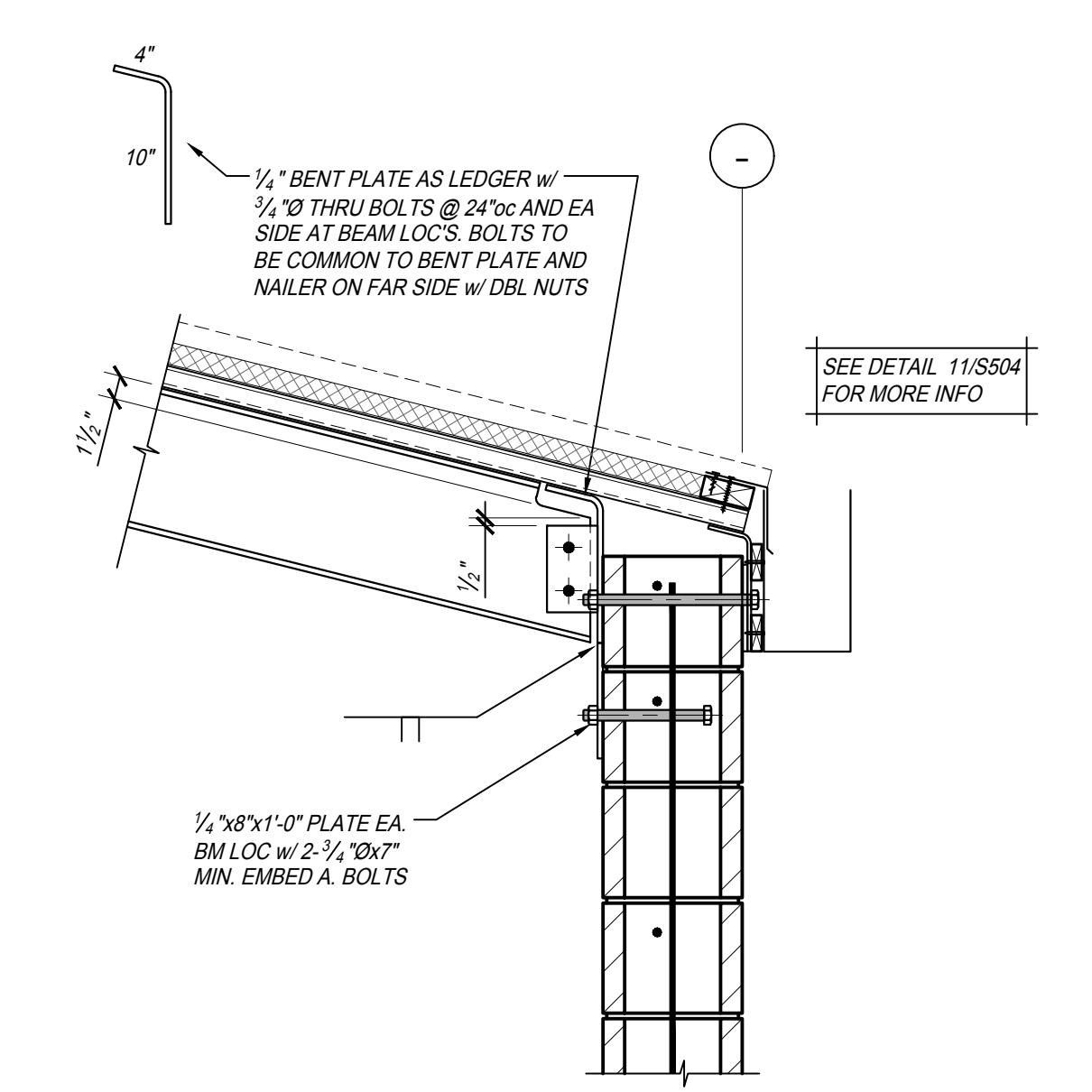
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 RFB5, S505



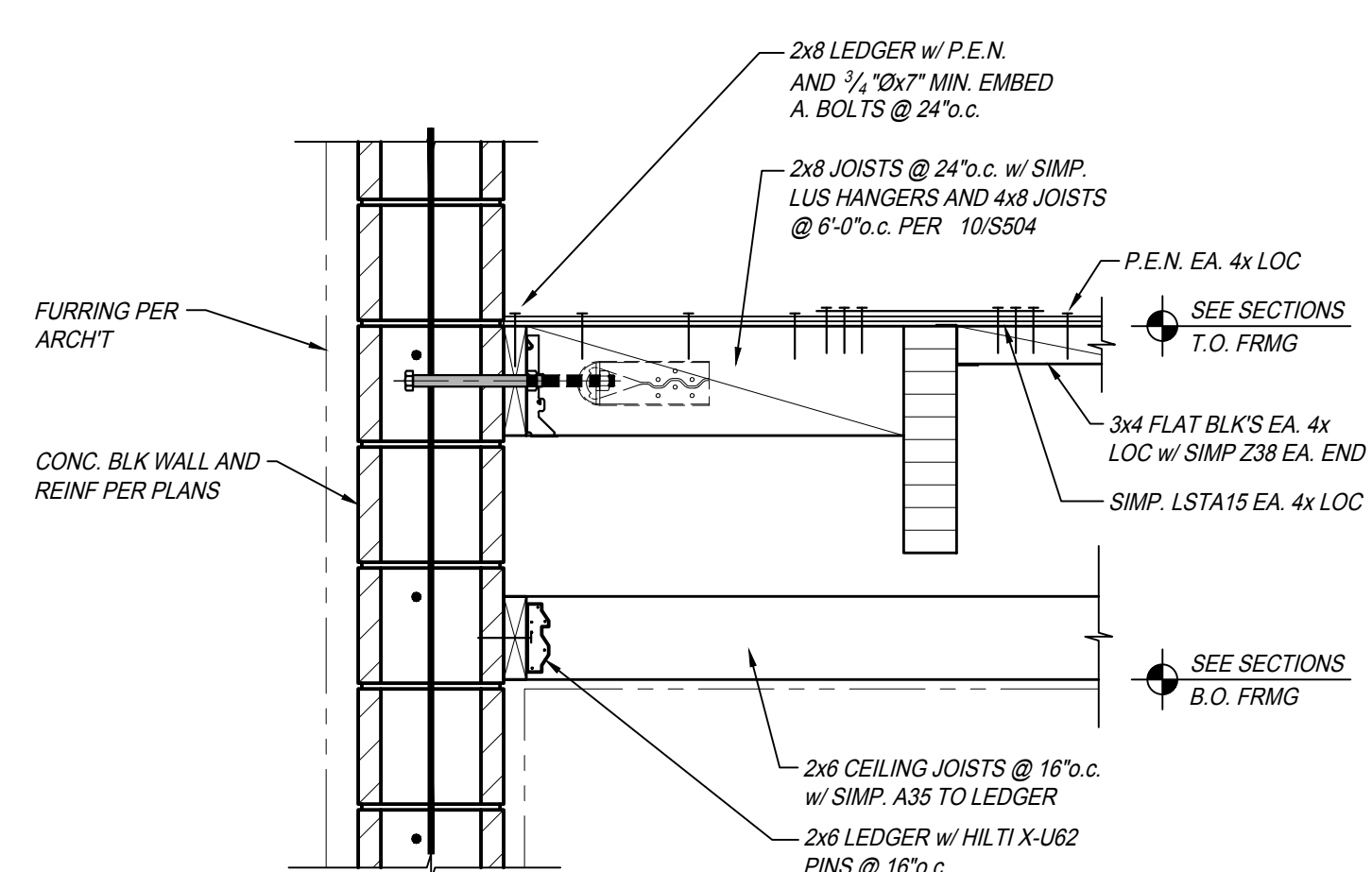
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 RFB3, S505



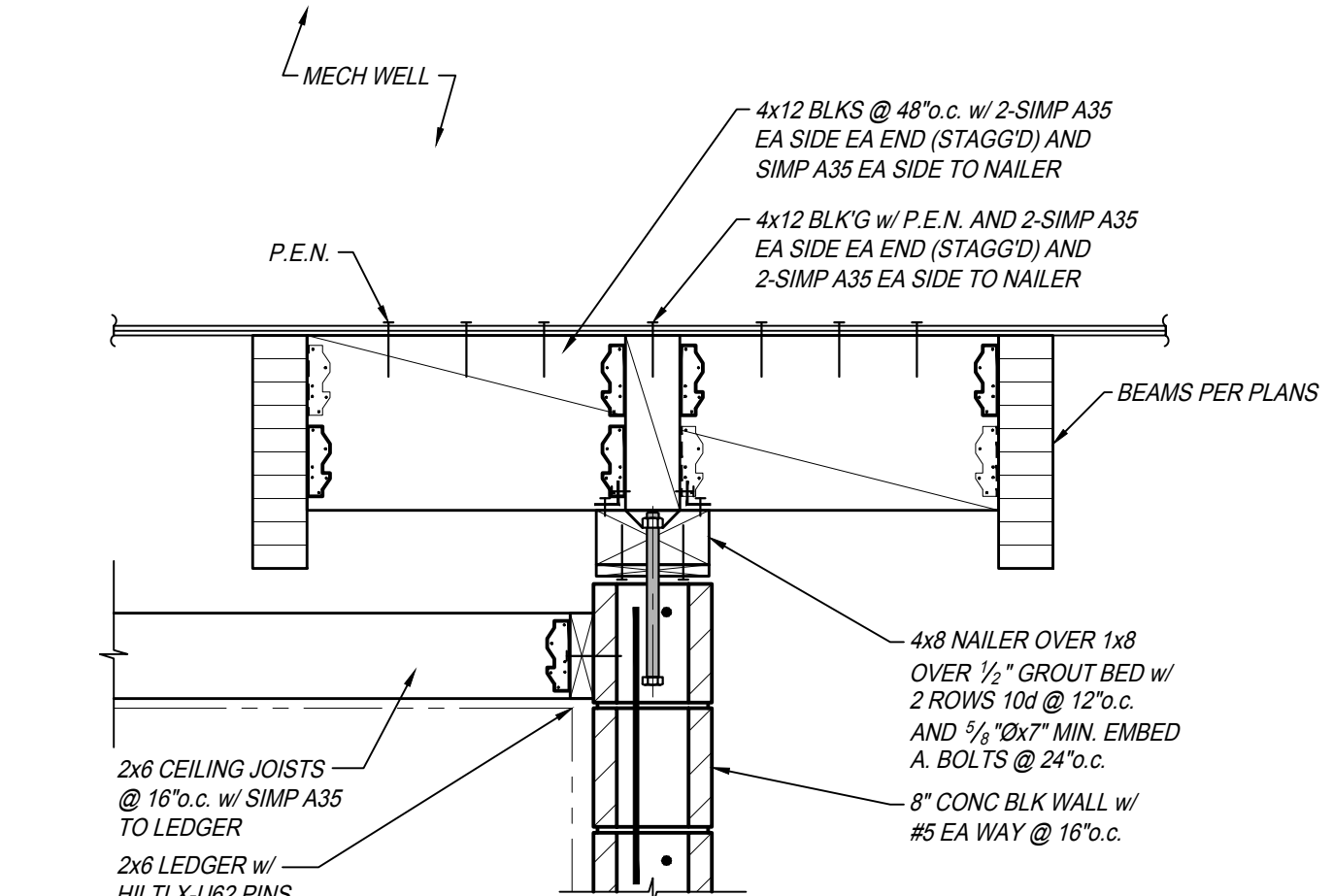
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 RFB2, S505



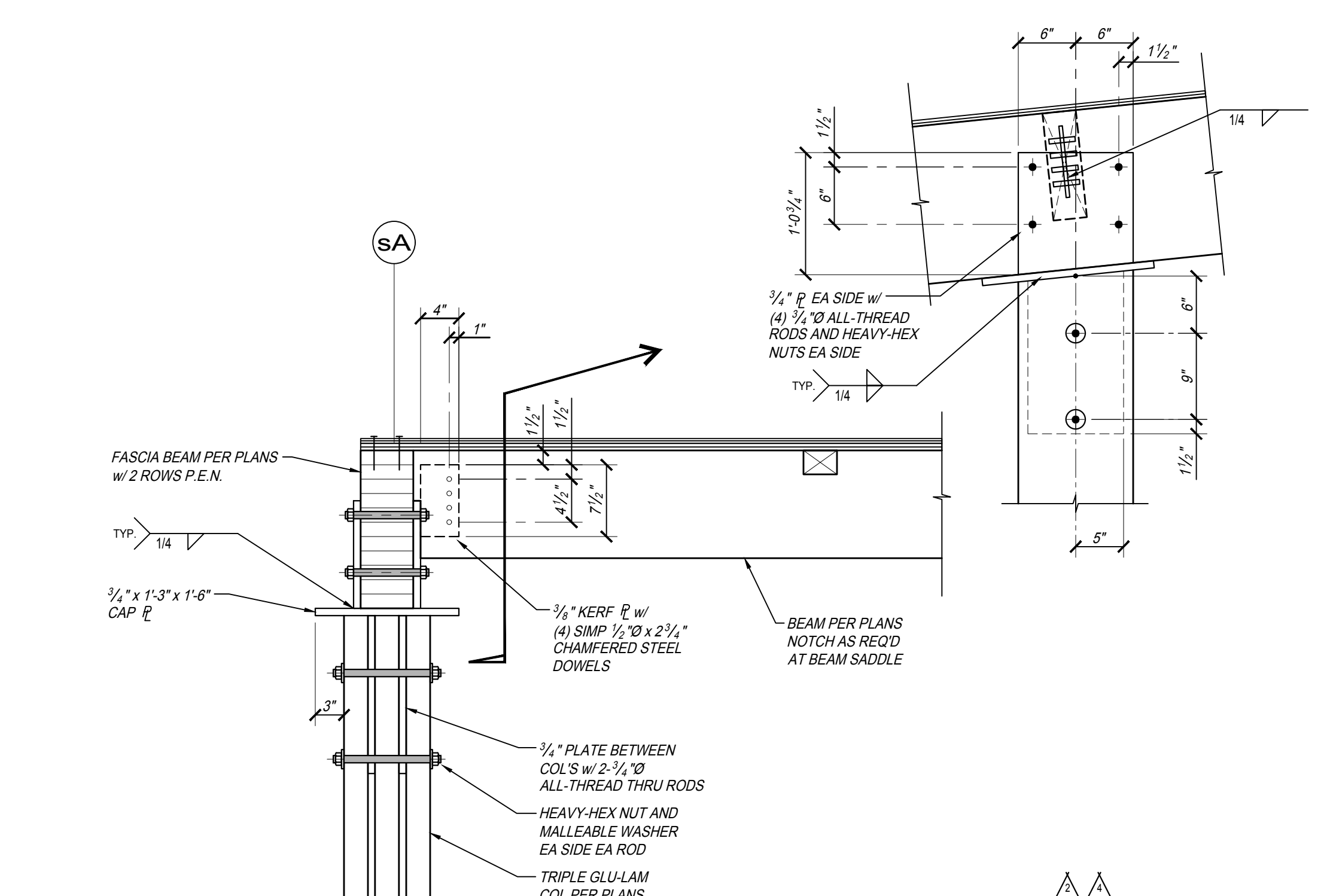
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 RFB1, S505



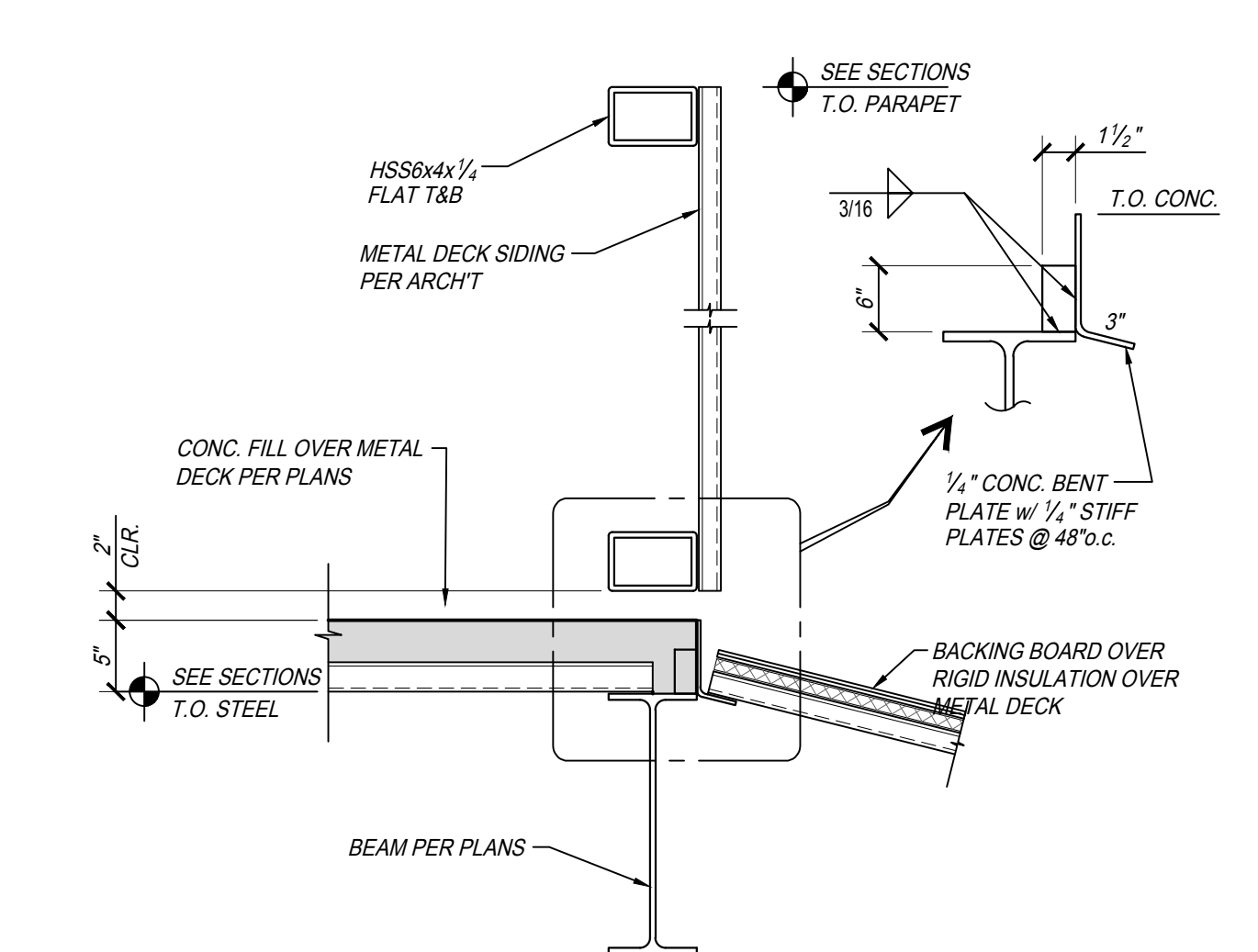
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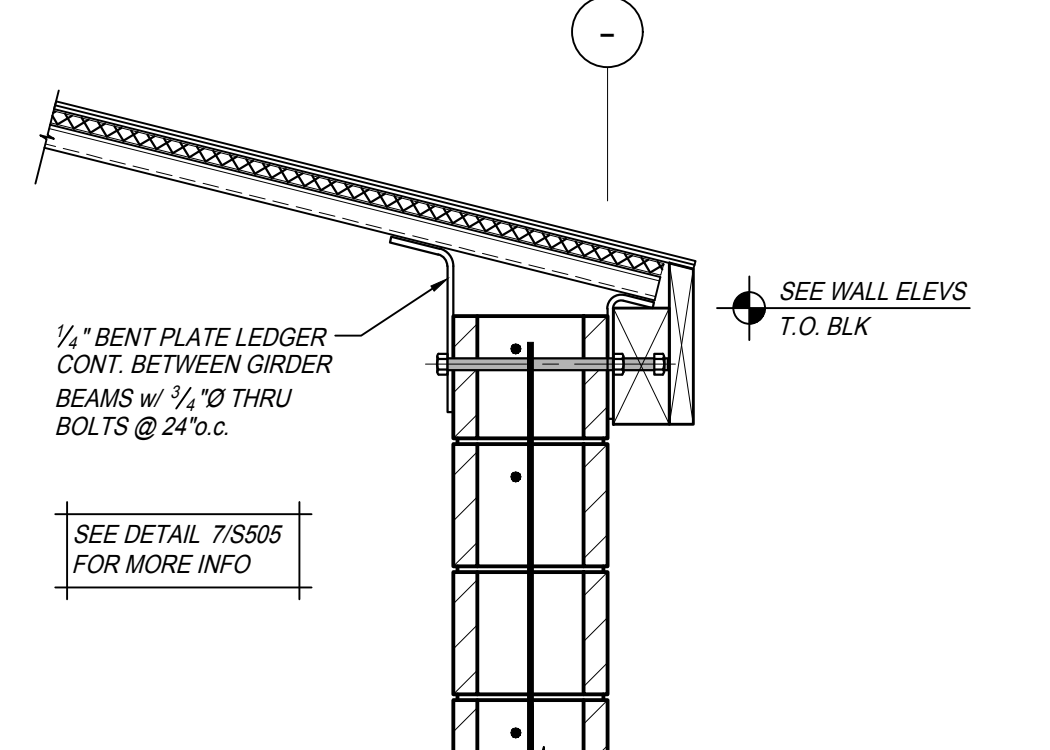
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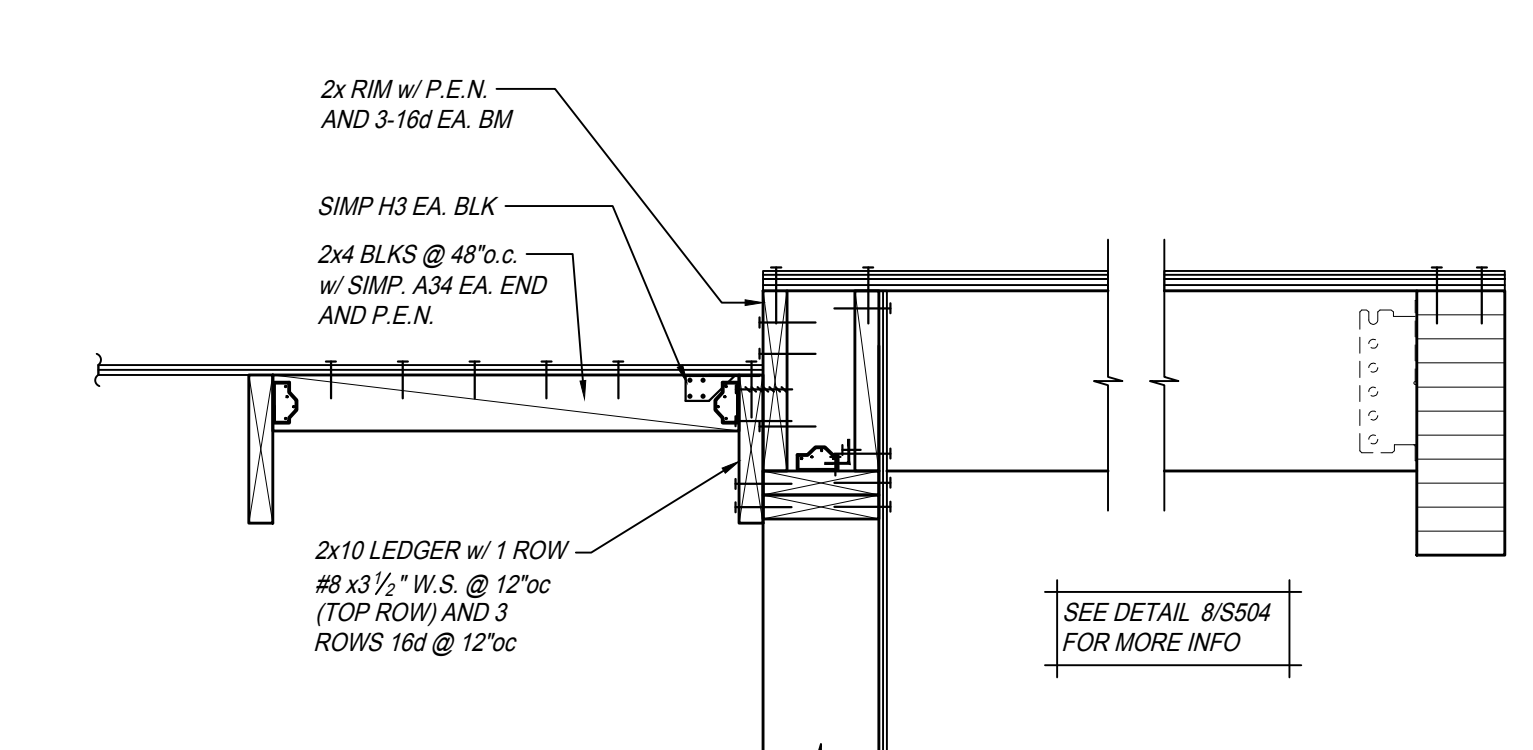
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 SCALE: 1" = 1'-0"
 RFB7, S505



DETAIL 12
 SCALE: 1" = 1'-0"
 RFB8, S505



DETAIL 11
 SCALE: 1" = 1'-0"
 RFB6, S505



DETAIL 10
 SCALE: 1" = 1'-0"
 RFB4, S505

PROJECT:
 City of Clovis Senior Activity Center and Transit Center
 735 Third Street
 Clovis, CA 93612
SHEET: ROOF FRAMING DETAILS

DRAWING SET INFORMATION:

06/19/2020	Plan Check Submittal
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REVISIONS:

8/12/2020	Plan Check Revisions
10/8/2020	Addendum 1
10/28/2020	Addendum 2
11/4/2020	Addendum 3

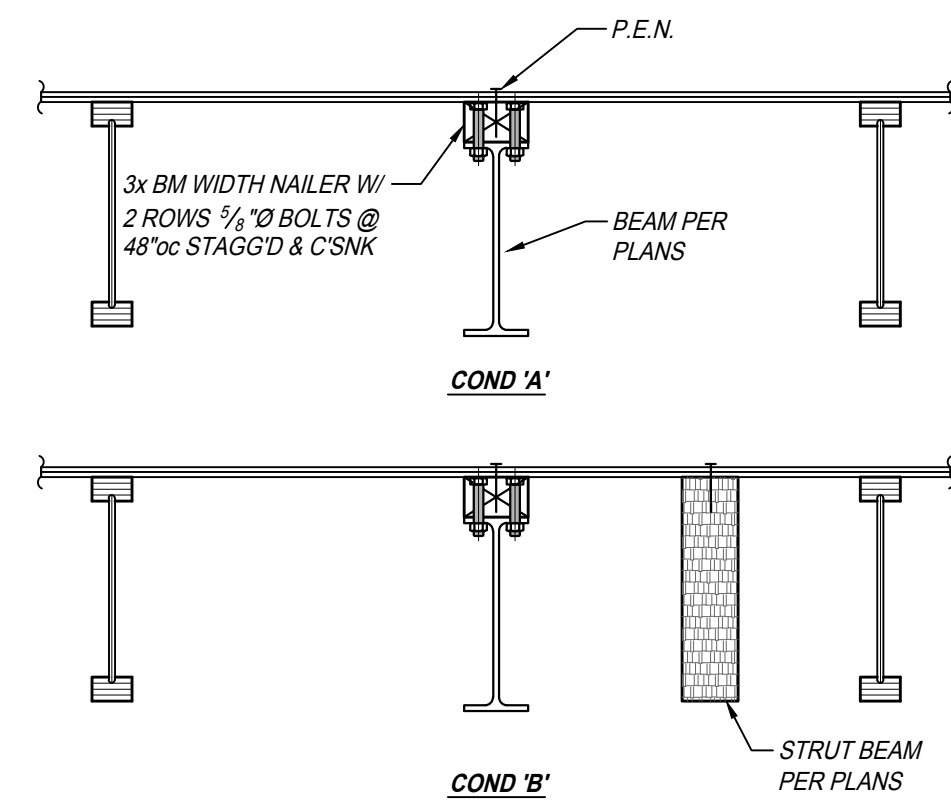
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SHEET NUMBER: AD3 S505

ADDENDUM 03

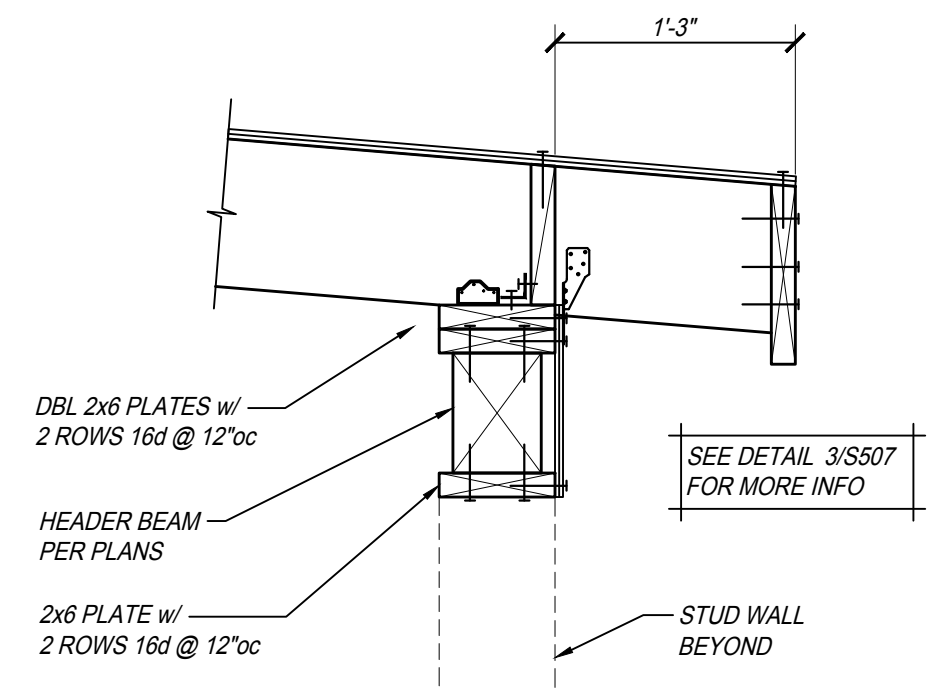


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 418 Clovis Ave. Clovis, CA 93612
 Phone 559-233-1023 Fax 559-323-8090
 WWW.PARRISH-HANSEN.COM

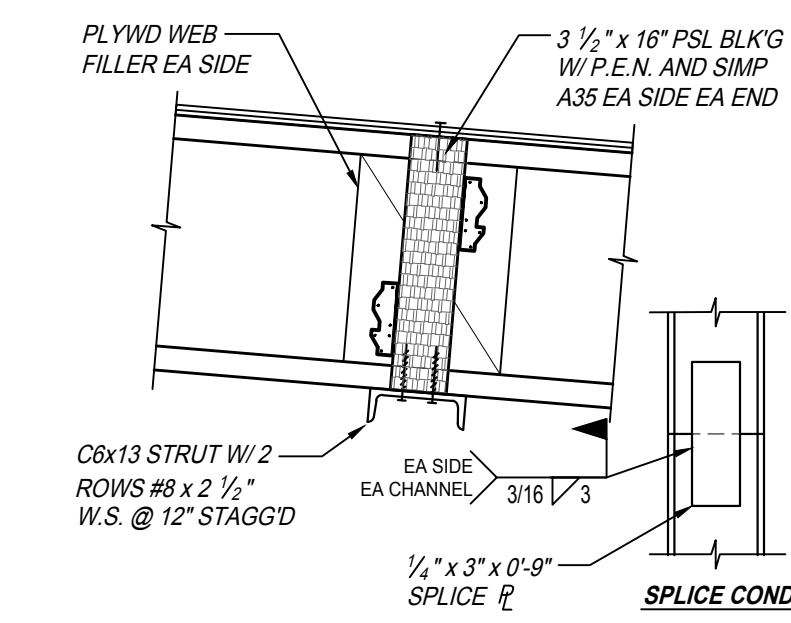
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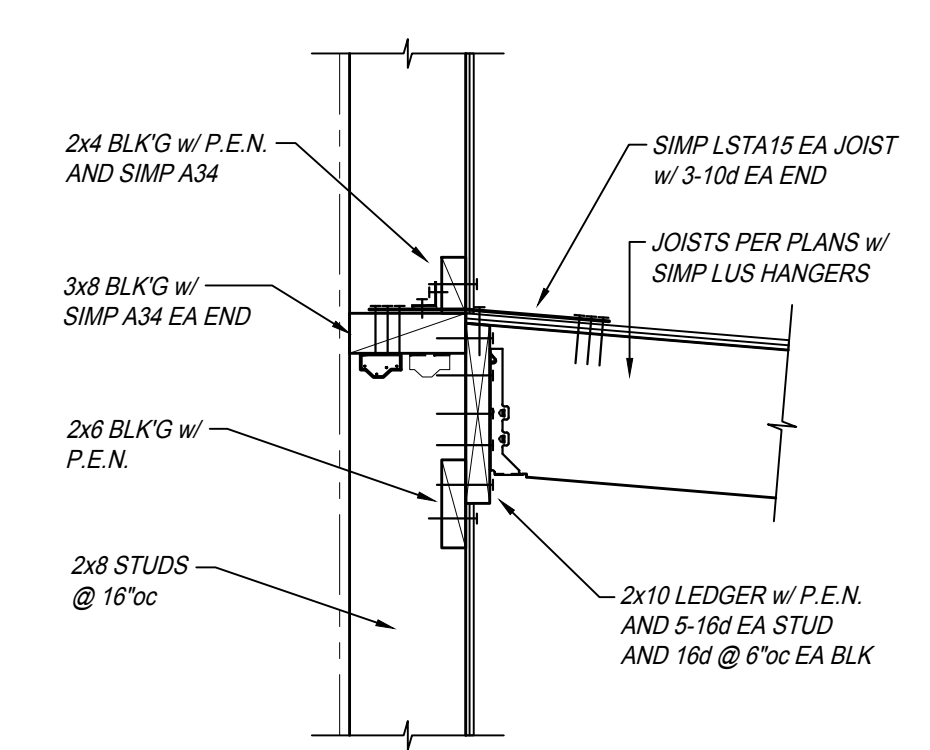
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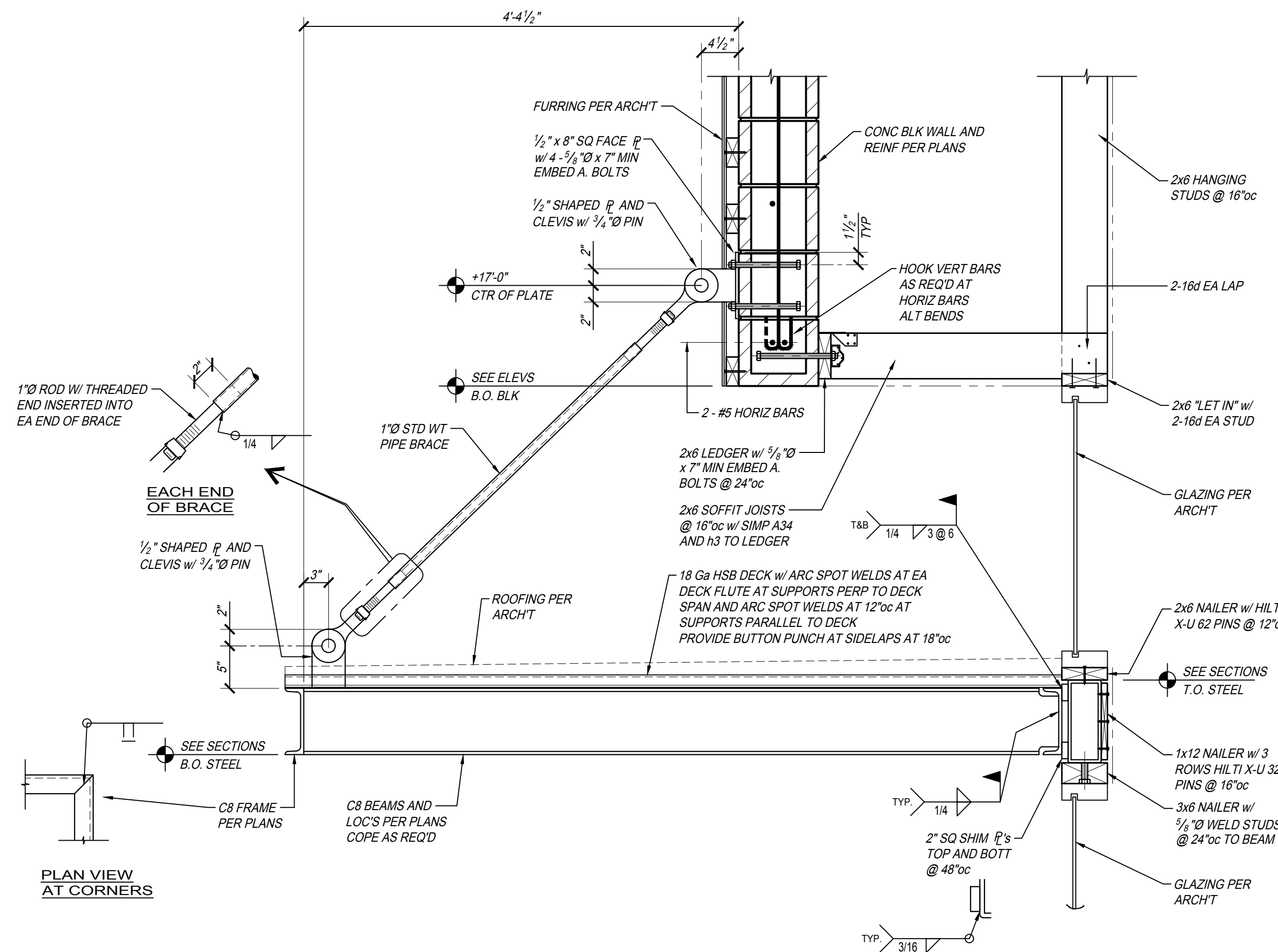
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RF111 S509



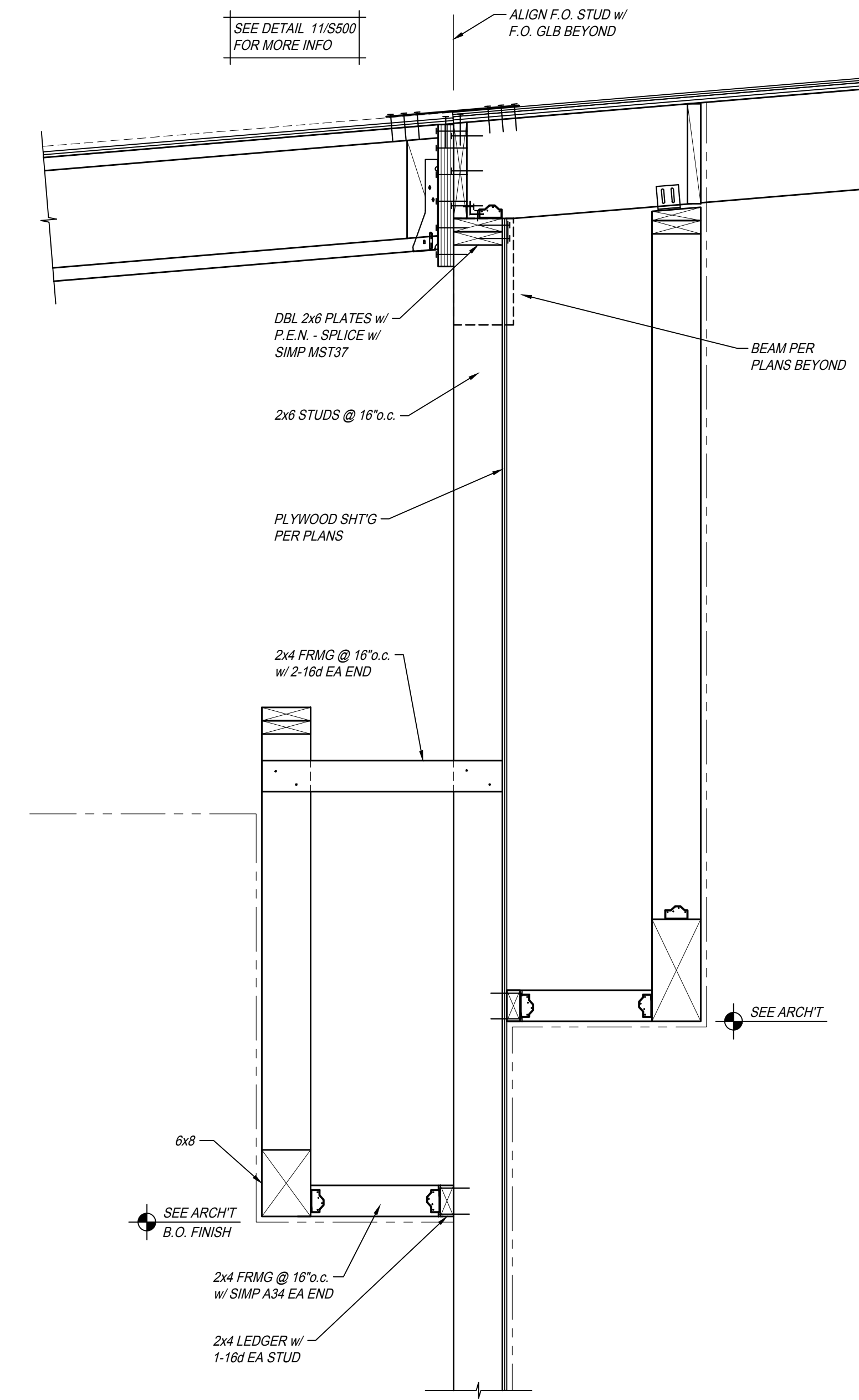
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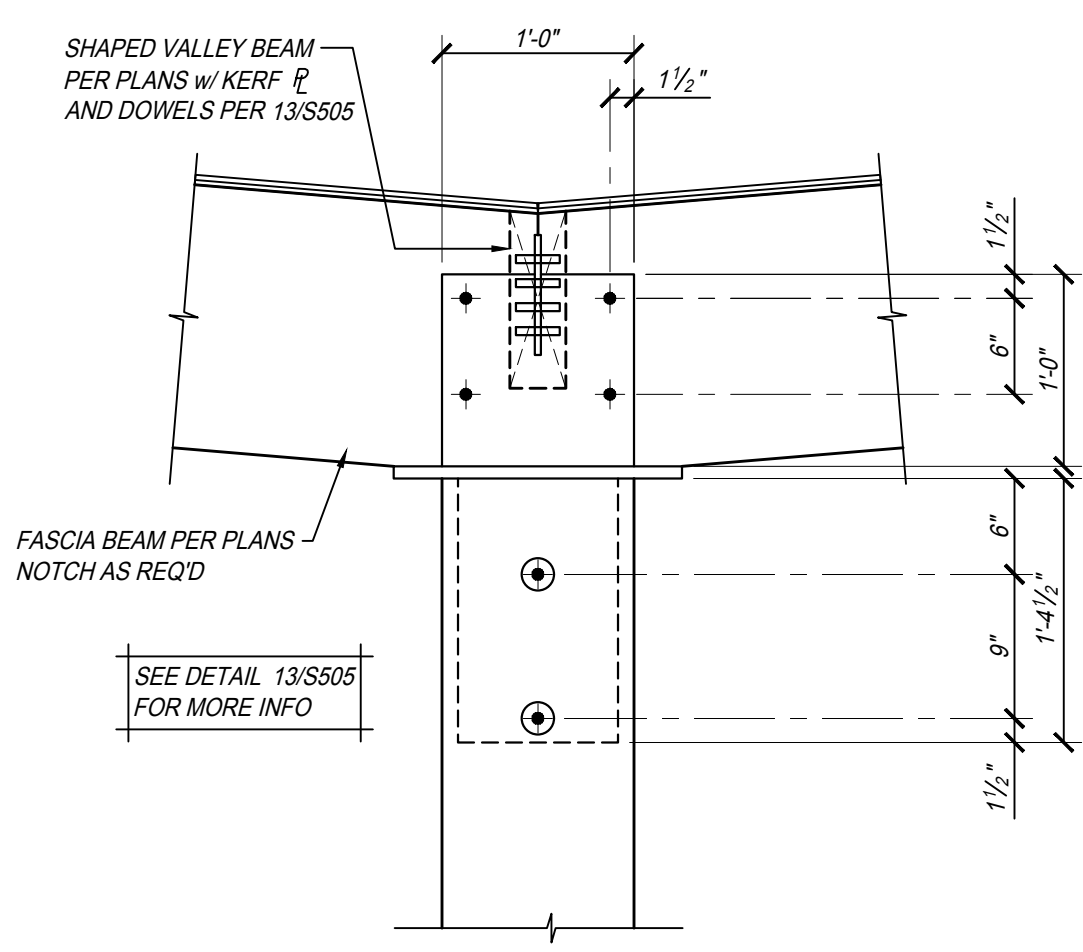
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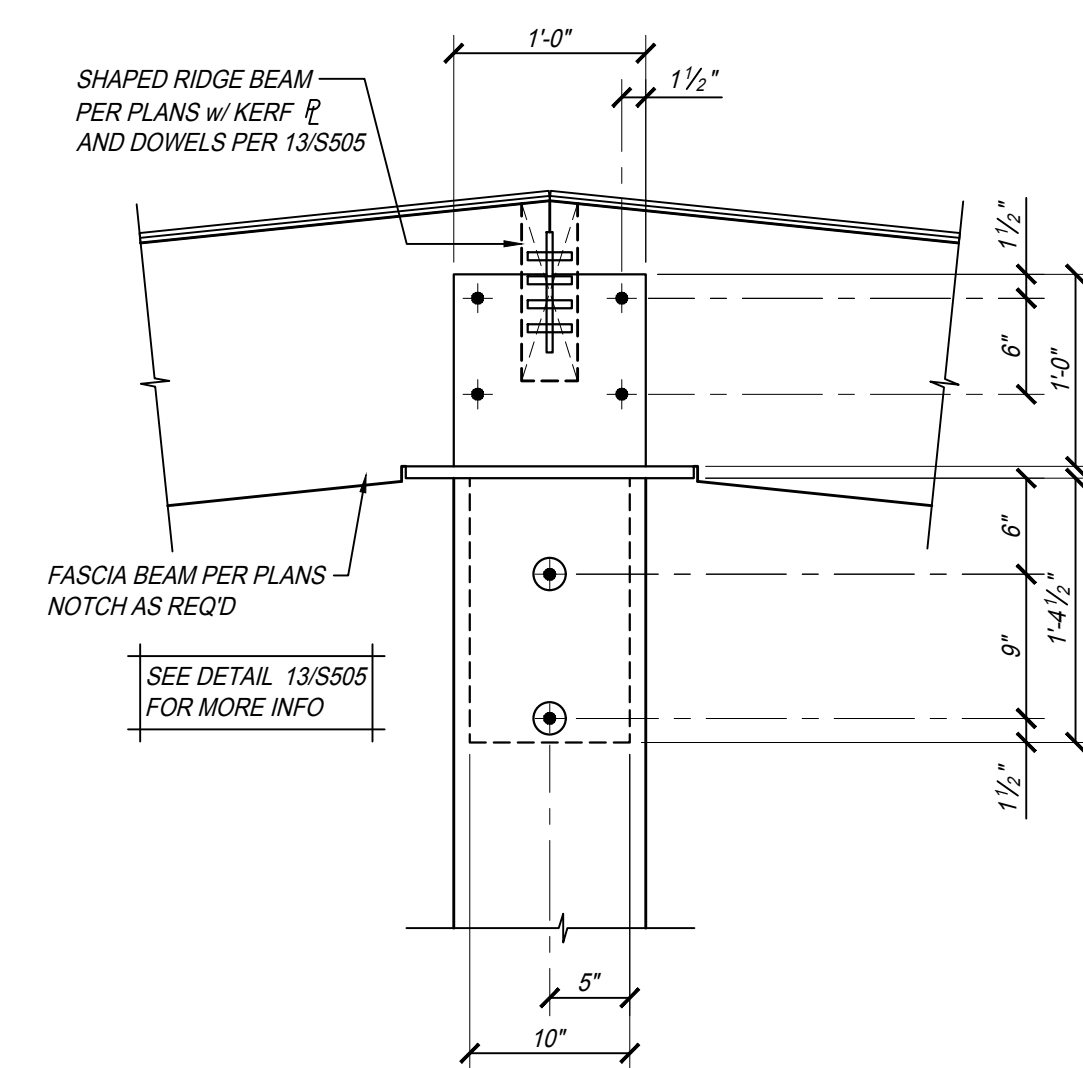
DETAIL 2
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RF110 S509



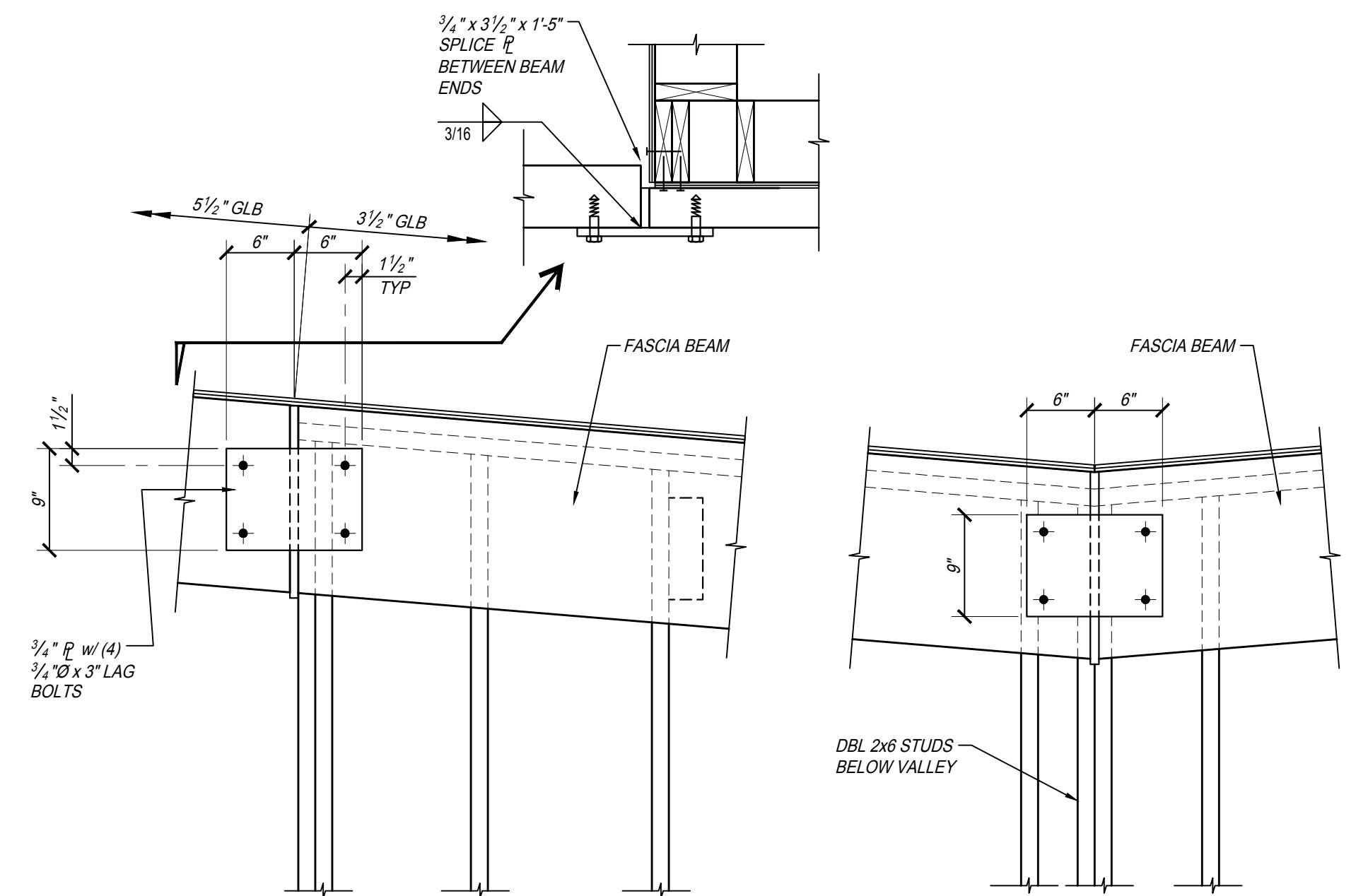
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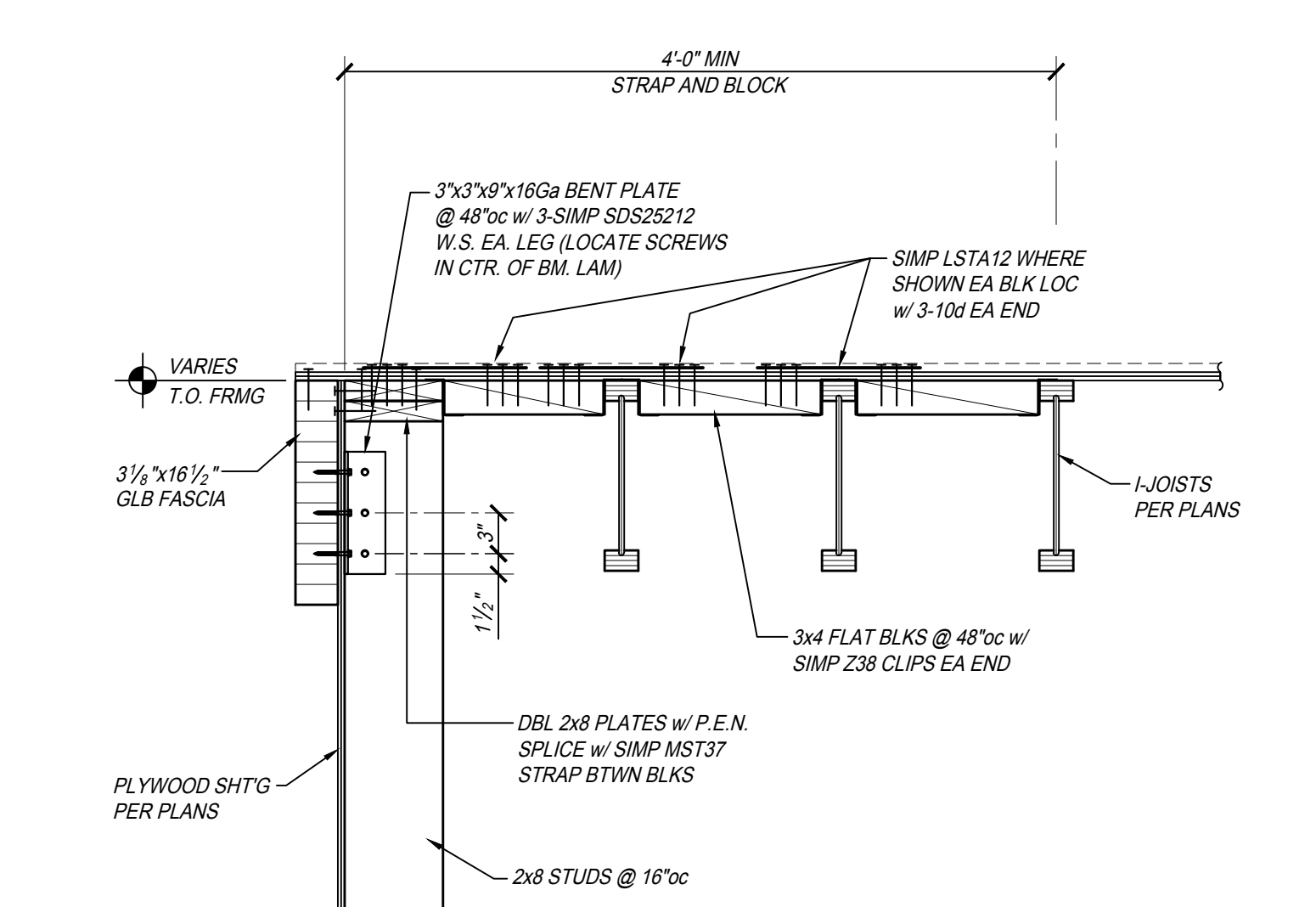
DETAIL 10
SCALE: 1" = 1'-0"
RF118 S509



DETAIL 9
SCALE: 1" = 1'-0"
RF117 S509



DETAIL 8
SCALE: 1" = 1'-0"
RF116 S509



DETAIL 7
SCALE: 1" = 1'-0"
RF115 S509



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PROJECT:
City of Clovis
Senior Activity Center and Transit Center
735 Third Street
Clovis, CA 93612

SHEET: ROOF FRAMING DETAILS

DRAWING SET INFORMATION:

06/19/2020	Plan Check Submittal
------------	----------------------

REVISIONS:

8/12/2020	Plan Check Revisions
10/8/2020	Addendum 1
10/28/2020	Addendum 2
11/4/2020	Addendum 3

PROJECT NUMBER: 17044.1

SHEET NUMBER: AD3 S509

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418 Clovis Ave Clovis, CA 93612
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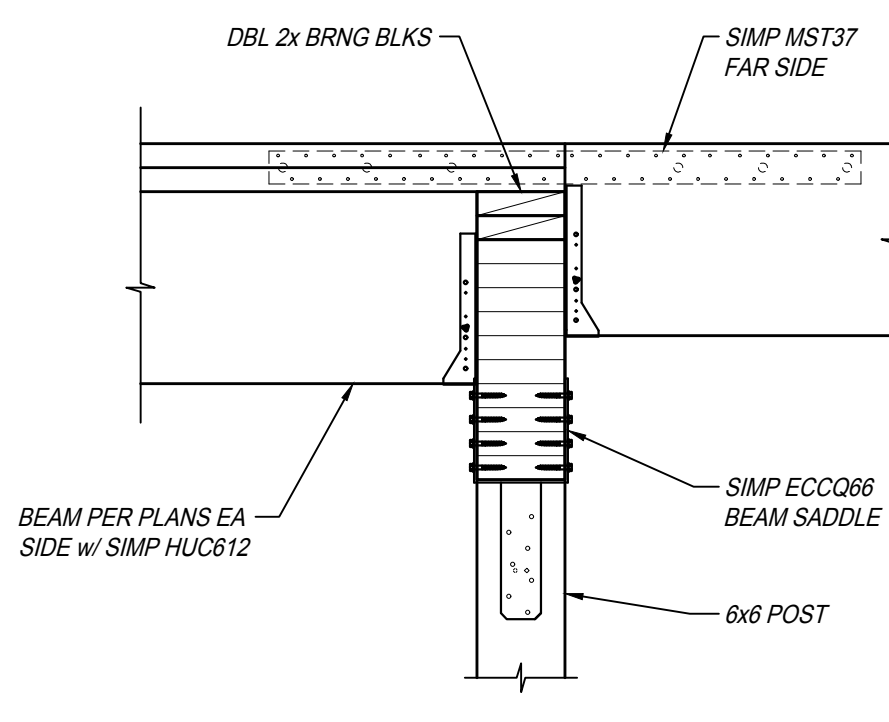
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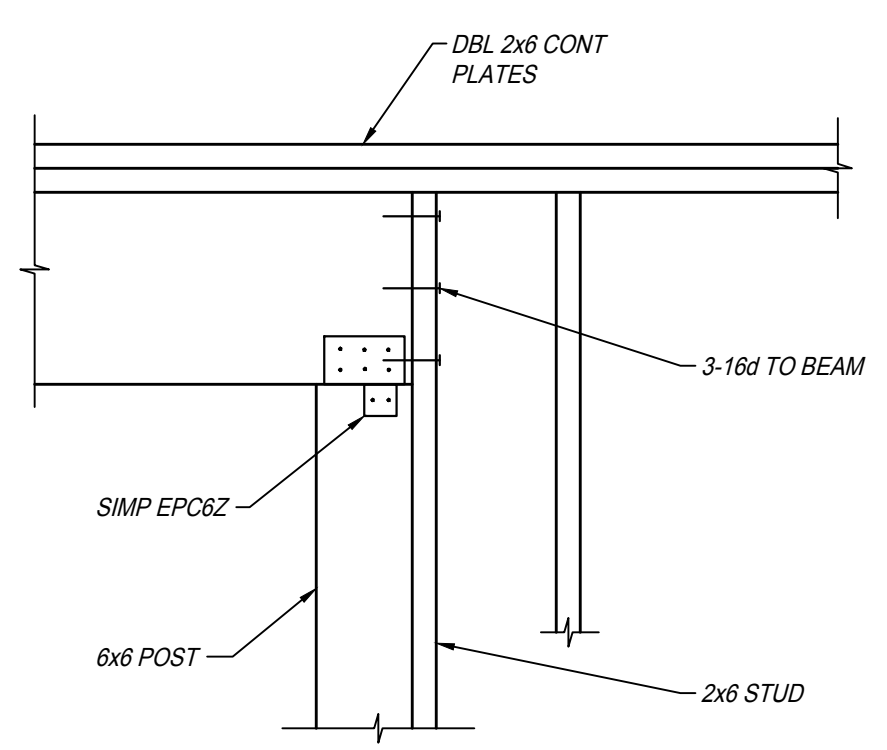
ADDENDUM 03



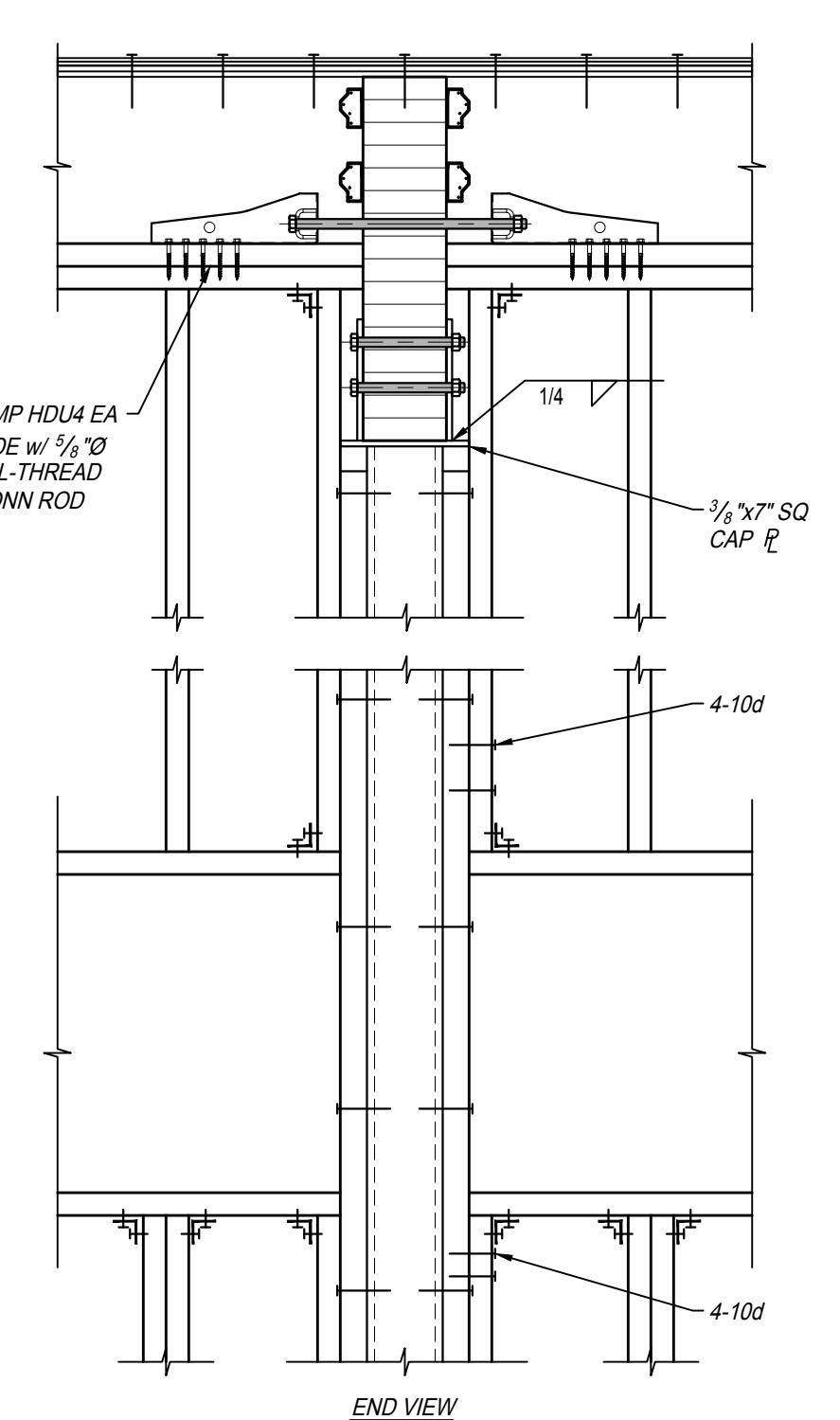
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DETAIL 4
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 BM41 S603

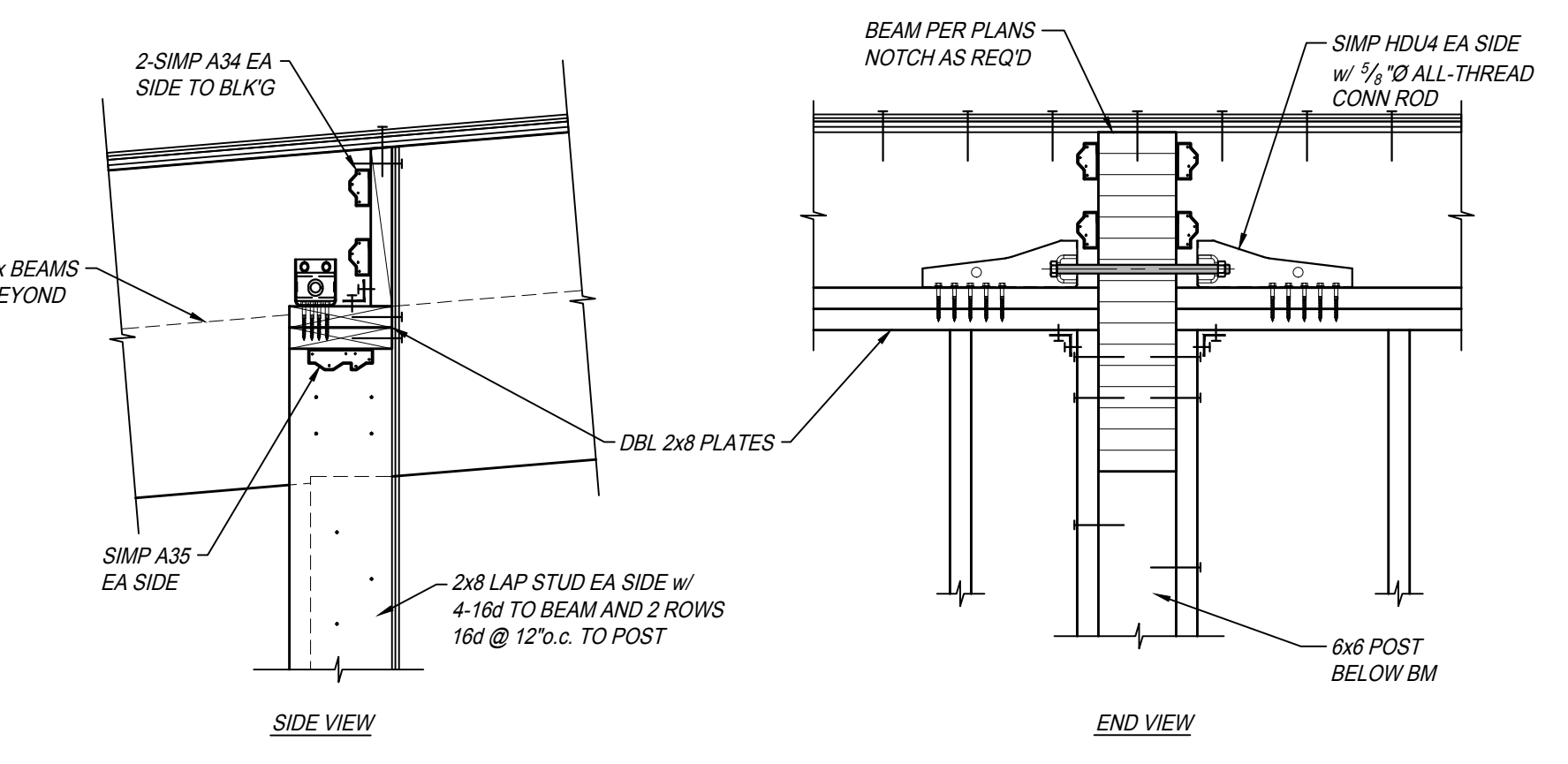
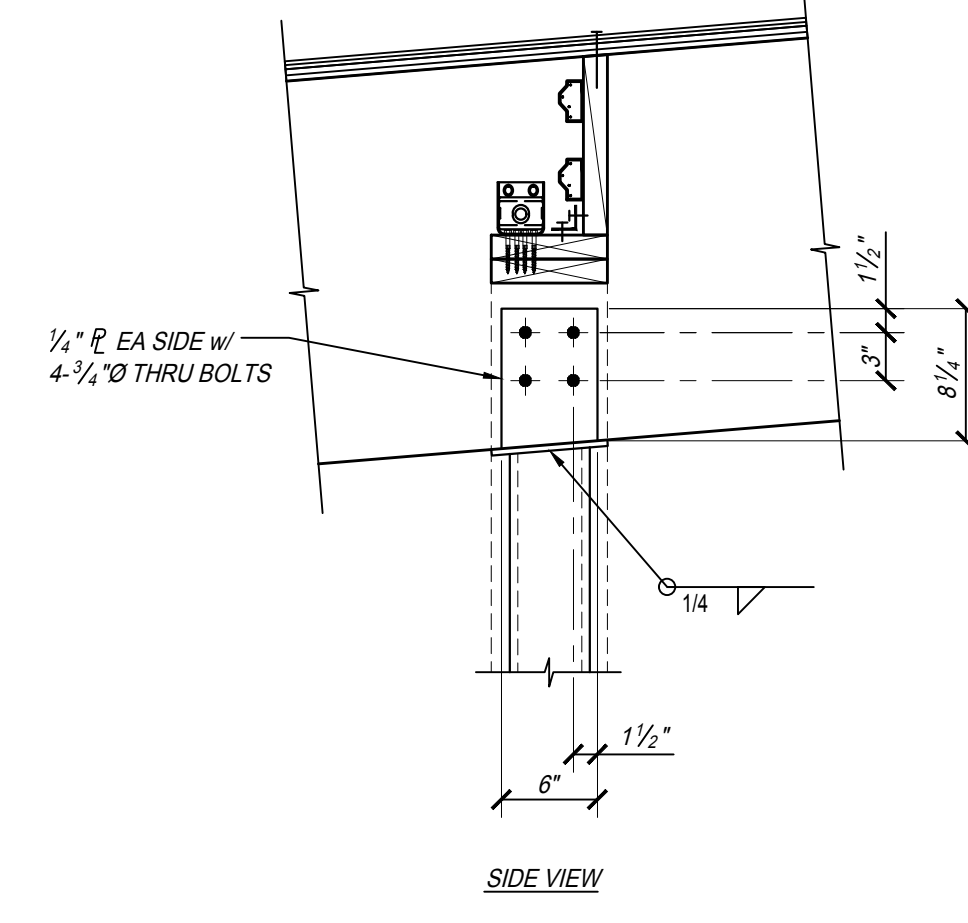


DETAIL 3
 SCALE: 1" = 1'-0"
 BM40 S603

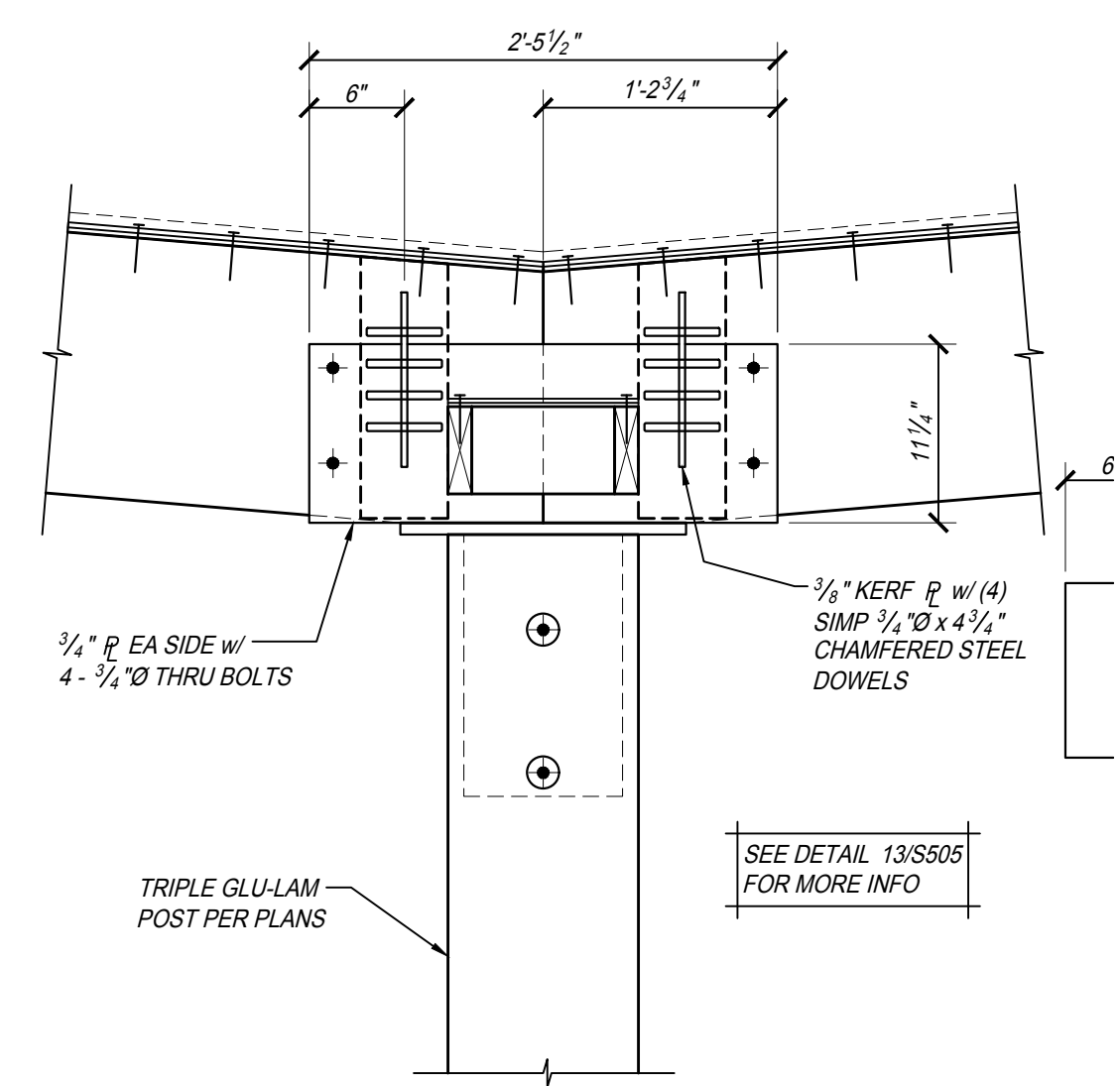


DETAIL 2
 SCALE: 1" = 1'-0"
 BM39 S603

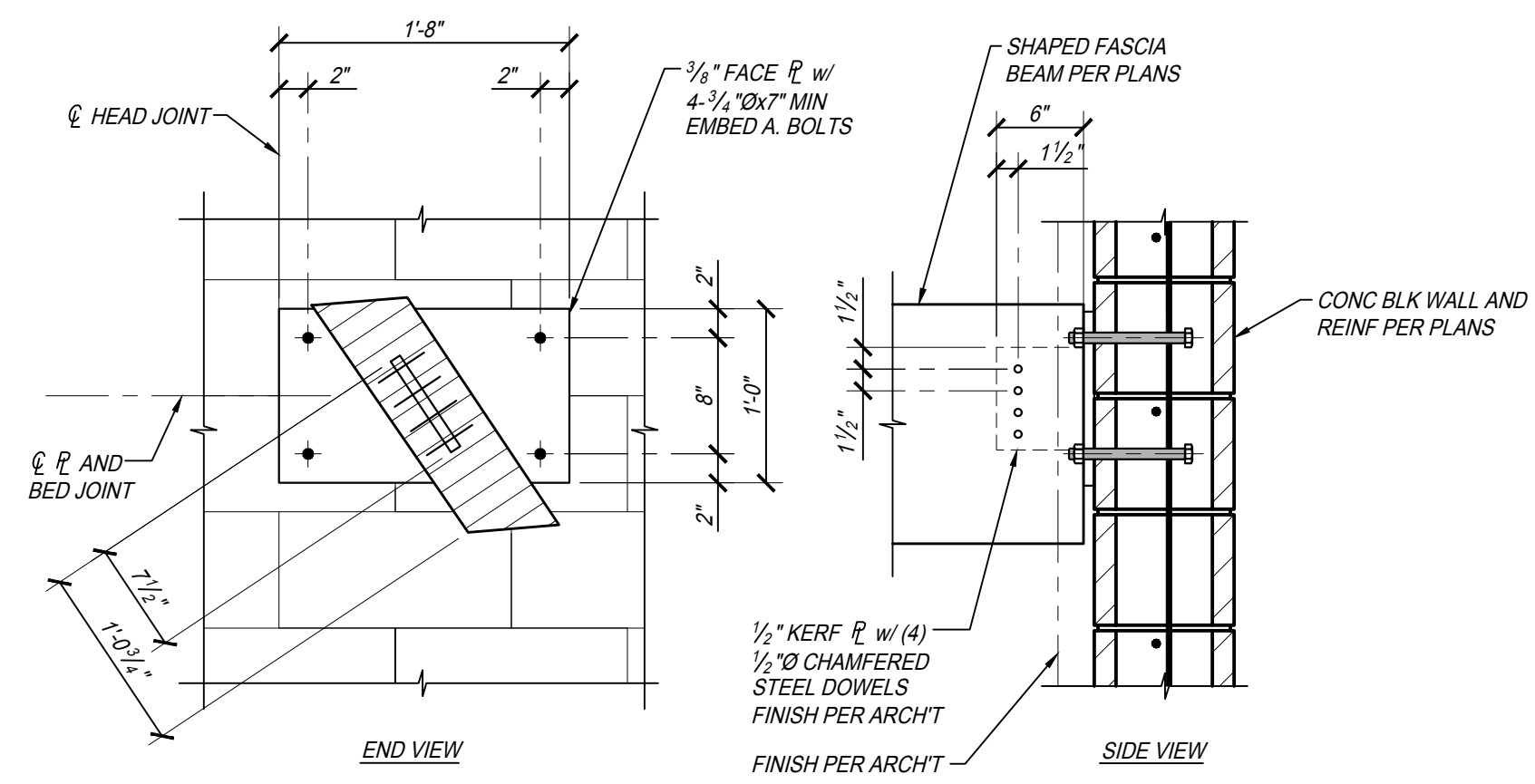
SEE DETAILS 12/S601 AND 1/S603 FOR MORE INFO



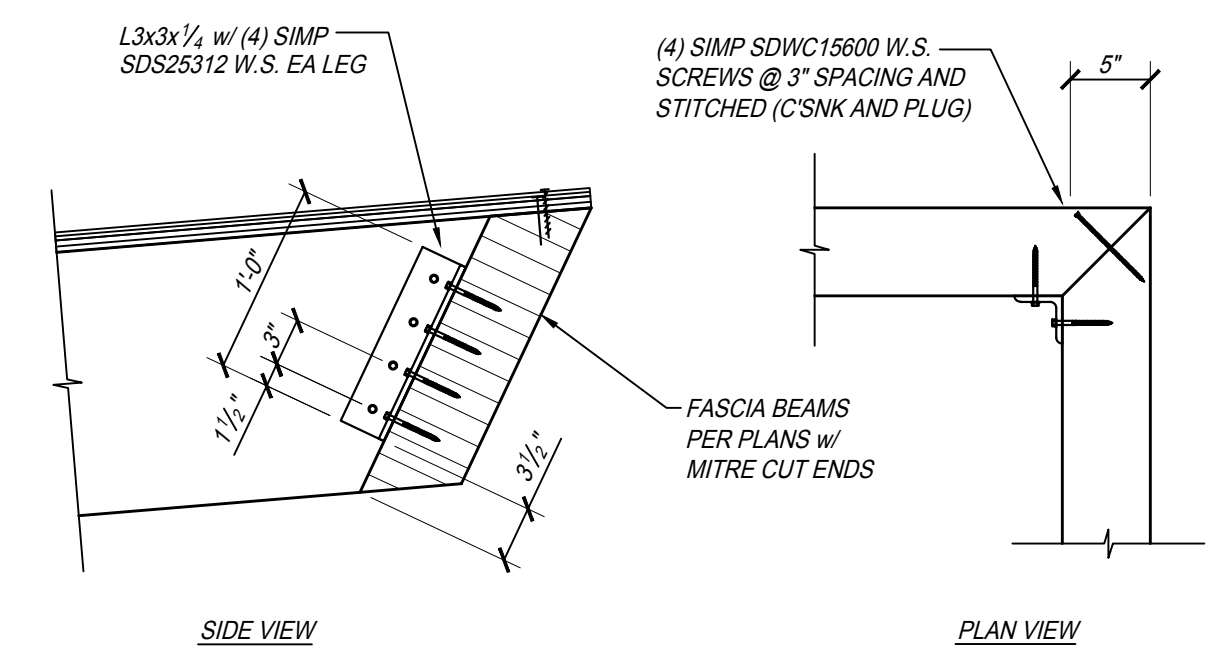
DETAIL 1
 SCALE: 1" = 1'-0"
 BM38 S603



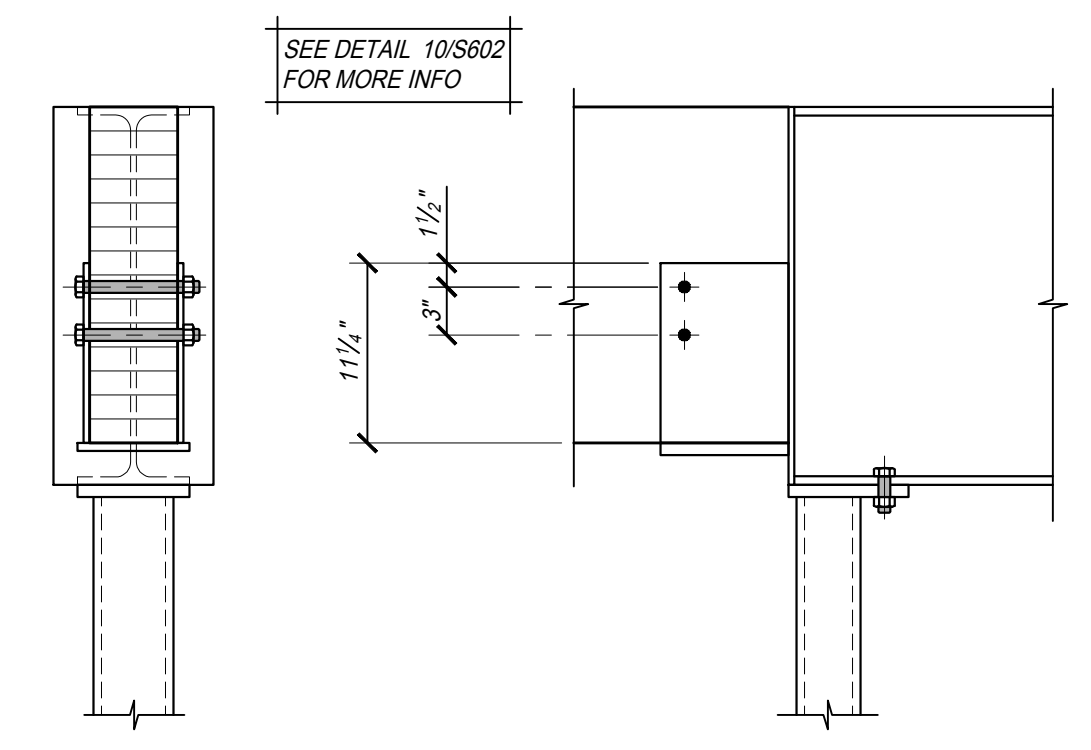
DETAIL 8
 SCALE: 1" = 1'-0"
 BM44 S603



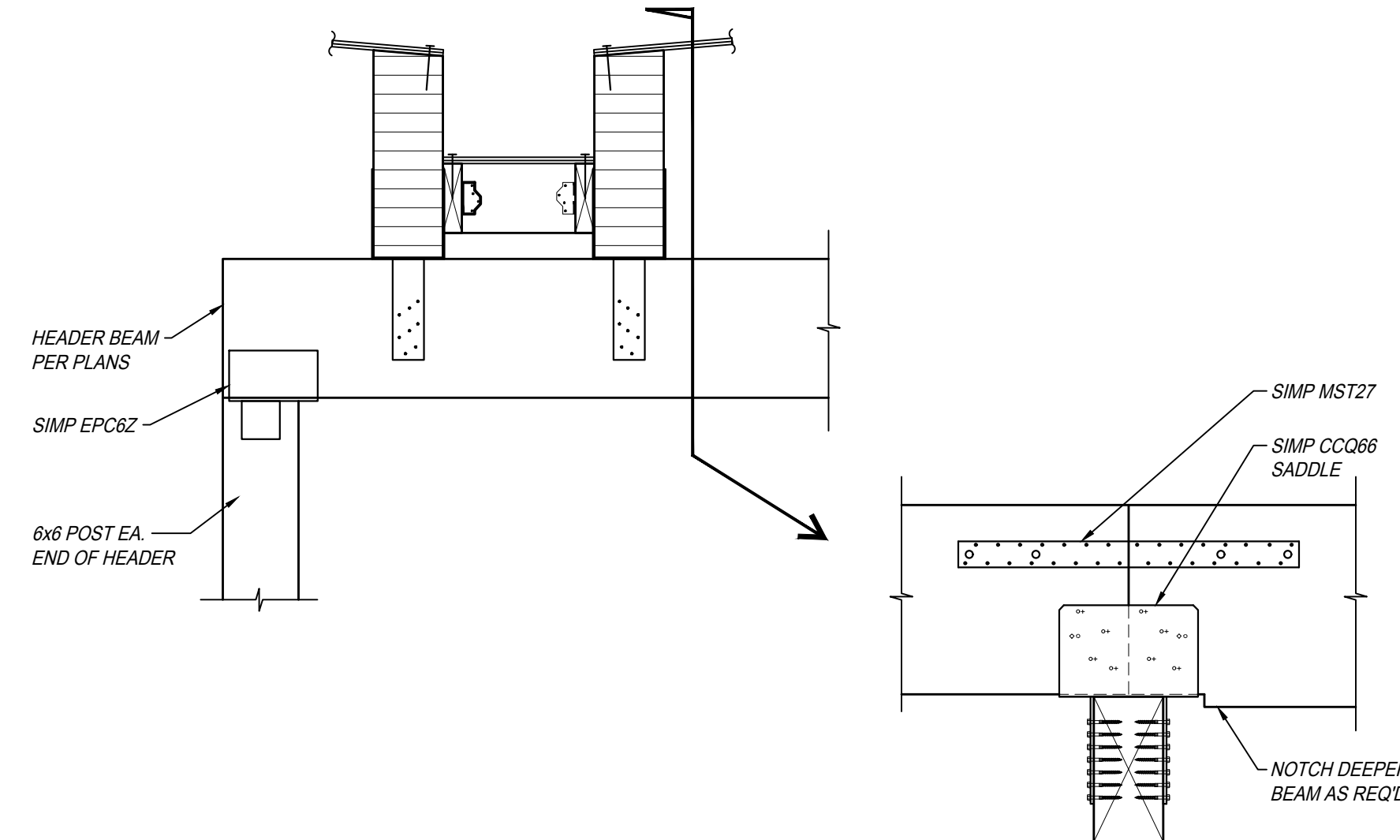
DETAIL 7
 SCALE: 1" = 1'-0"
 BM44 S603



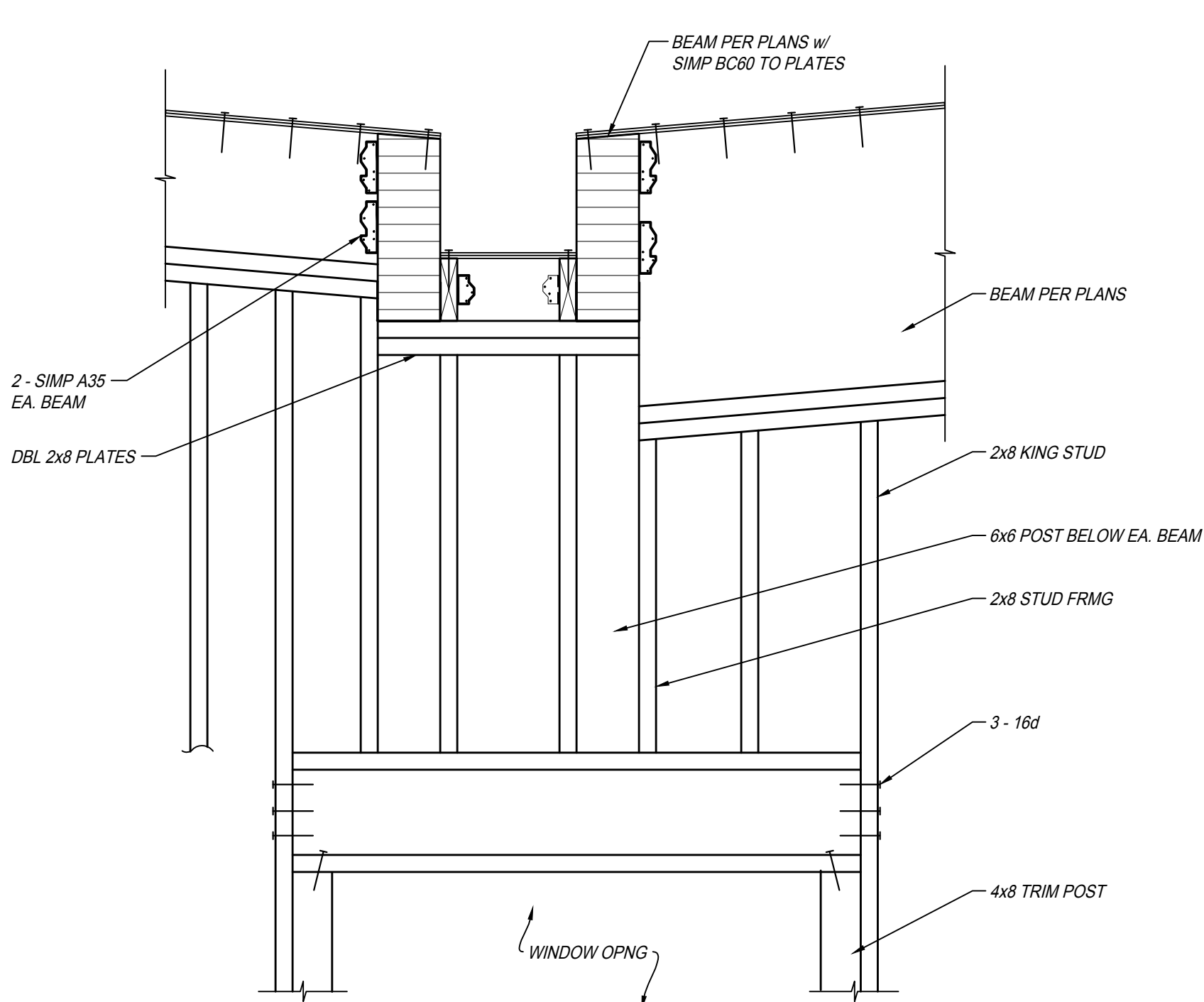
DETAIL 6
 SCALE: 1" = 1'-0"
 BM1 S603



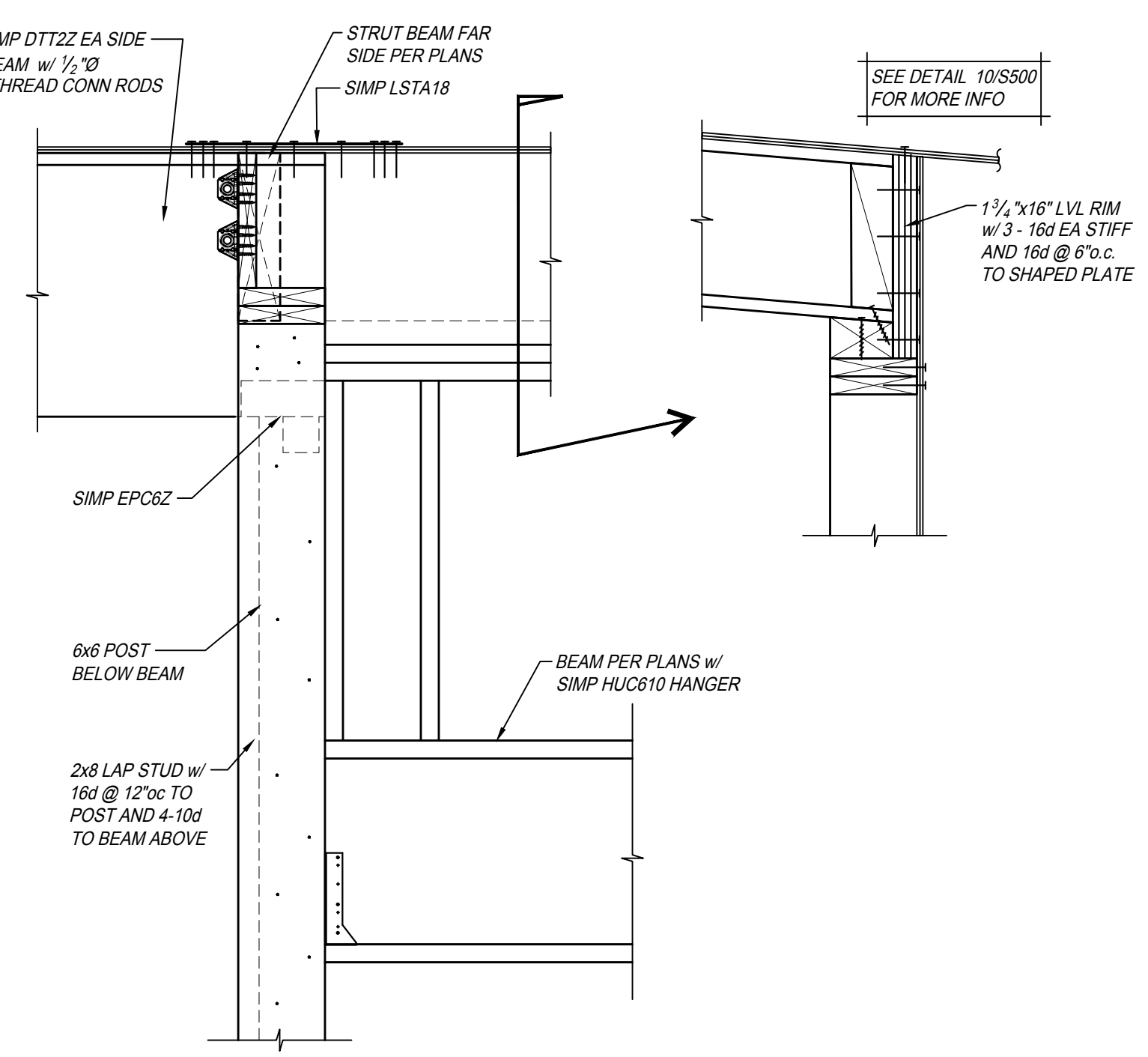
DETAIL 5
 SCALE: 1" = 1'-0"
 BM42 S603



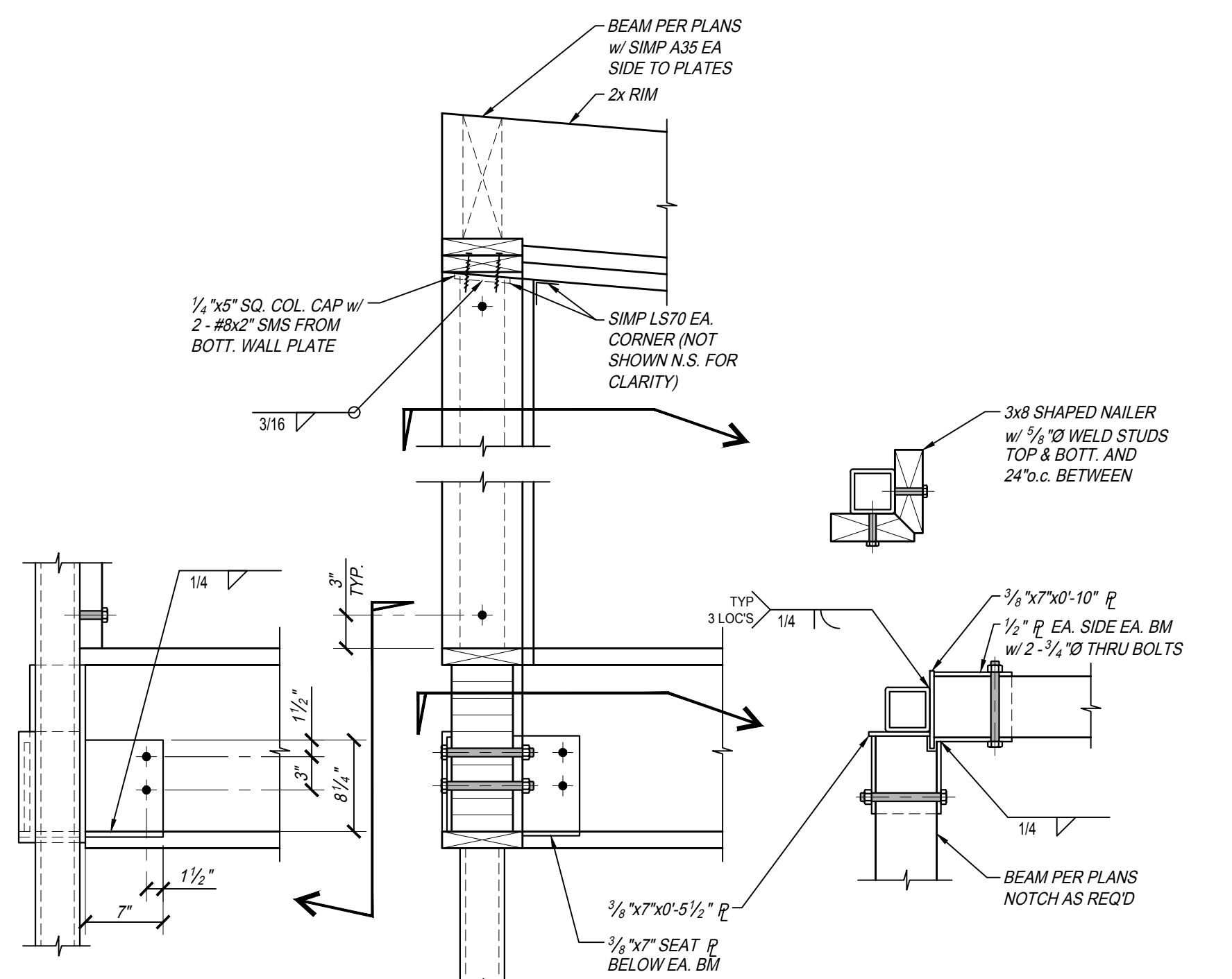
DETAIL 12
 SCALE: 1" = 1'-0"
 BM49 S603



DETAIL 11
 SCALE: 1" = 1'-0"
 BM48 S603



DETAIL 10
 SCALE: 1" = 1'-0"
 BM47 S603



DETAIL 9
 SCALE: 1" = 1'-0"
 BM46 S603

PROJECT: City of Clovis Senior Activity Center and Transit Center
 735 Third Street
 Clovis, CA 93612
 SHEET: BEAM DETAILS

DRAWING SET INFORMATION:

06/19/2020	Plan Check Submittal
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REVISIONS:

8/12/2020	Plan Check Revisions
10/8/2020	Addendum 1
10/28/2020	Addendum 2
11/4/2020	Addendum 3

PROJECT NUMBER: 17044.1
 SHEET NUMBER: AD3 S603

